

Snell & Wilmer

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August 7, 2023

Stephanie Woolstenhulme
City Planner
Oakley City
960 W. Center Street
Oakley, UT 84055

Re: Oakley City Center Master Plan Application

Dear Ms. Woolstenhulme,

We are excited to submit the attached Master Plan application for Oakley City Center. These applications are the next step in the process of the redevelopment of Oakley's City Center becoming a reality.

The desired goal for this application is to obtain approval of the Master Plan, as required in the Village Mixed-use zone. See Oakley City Code §13-4-14. As you are aware, there have been numerous work meetings to clarify the vision and direction of this project. We are excited to be making application, to work through the review and approval process. The ownership and development team are excited continue the partnership with Oakley.

As required by Oakley City Code §13-5-10, we have included either in this letter or in the attached exhibits, all the required elements for a Master Planned Development. Below each of those elements are addressed in detail.

- 1. Density** – This project provides commercial and office square footage for a variety of uses. The total proposed building footprints are 45,762 sq. ft.
- 2. Density Bonus:** No density bonus is needed or requested, as the Village Mixed Use Zone has no base density.
- 3. Setbacks:** The proposed minimum setback around the exterior boundary of the project is five feet (5') along the eastern boundary and ten feet (10') along the external public

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rights-of-way(s). Internally, the setbacks shall be zero feet (0'). The Commercial zone to the east requires setbacks of twenty feet (20') from any roadway right-of-way, side yard setbacks of eight feet (8') and rear yard setbacks of twenty-four feet (24'). The proposed reduction of the setbacks results in more usable open space in the center of the project. We explored the possibility of pushing the eastern most buildings west, away from the property line, however this eliminated parking, roadways and open space. With the reduced setbacks, we are still able to accommodate a rear loading area that will be hidden.

4. **Building Height:** There is no identified maximum building height for the VMU Zone, and we recognize the city's desire for a maximum building height of forty-five feet (45') for all structures. We are proposing a maximum building height of forty-five feet to align with the city's desired maximum building height.
5. **Reduction of Minimum Lot Size Requirements:** Reduction of Minimum Lot Size Requirements: There is no minimum lot size in the VMU Zone. This provides the needed flexibility in order to create the marketable building pads we are proposing.
6. **Open Space:** Open Space: As required in the Master Plan requirements, we are providing open space and greenspace greater than 10%. By utilizing a mix of public dining/gathering areas, green space, park area and walking areas, the total open space or green space is 37,113 sq. ft. or over 15% open space.
7. **Off-Street Parking:** As shown on the Site Plan, the proposed development provides 227 of parking stalls. This is parking ratio of approximately five (5) stalls for every one thousand (1,000) square feet of building footprint, not just leasable space. This parking ratio is greater than the minimum required parking stalls for commercial uses in a Master Plan. The additional parking and shared parking agreements ensure future tenants/uses will have adequate parking. Additionally, we are proposing a temporary parking area for RV's and/or vehicles pulling trailers to the south of Center Street.
8. **Designing with The Topography:** The most noticeable area where topography was incorporated into the site was on the north end of the site with the diner. Utilizing the natural topography allowed the creation of a multi-level retail experience with the drive-up on the lower level, and use of retaining walls to increase developable land and needed parking for the diner on the upper level and more efficient use of land at the lower level. However, the topography did create some additional challenges. For example, the desired location for the loading dock area of the grocery store was originally planned for the northside of the building (Lot 4). Due to the change in elevation on the northern portion of the site, the loading dock was moved to the southeast corner of the lot. The Grading and Drainage Plan that is submitted with this narrative incorporates the existing topography into the proposed design to minimize the need for excessive earthwork and site grading activities. The preservation of the natural

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- site grades and existing drainage patterns, which were incorporated into the design, reduce impacts to neighboring properties. The development is also designed to allow storm water from the site to percolate into the ground and generally follow the existing natural drainage patterns of the site.
- 9. Designing with Adjacent Uses:** We are grateful for the partnership the city has provided through this process. That partnership has allowed this project to include civic/park space that will be available to the public, where otherwise it would not have been possible. The Site Plan shows how specific attention was paid to City Hall and ensuring the new development is compatible and a compliment to the existing and proposed civic space.
 - 10. Access:** Access to the City Center is provided via three (3) public roads – Weber Canyon Rd., Center Street and State Road 32. Coordination with UDOT, Summit County, Oakley City and the development team has been undertaken to ensure the access points are appropriately located.
 - 11. Utilities:** Preliminary design and sizing has been undertaken, to ensure there is adequate utility services that provide an appropriate level of service. A concept Utility Plan has been provided in the application.
 - 12. Building Locations:** Careful consideration, including the feedback from the Planning Commission work meetings, was utilized to develop the site plan. As mentioned previously, the topography of the site was a critical part of the design. Additionally, the city’s preferred locations for access played a critical role in the location of the buildings. Additionally, the project will be phased so that the grocery store and site improvements are completed in the first phase.
 - 13. Connectivity:** Embracing pedestrian, vehicular, and visual connectivity, the city center block design transforms the city block into a web of exploration and neighborhood connection. It invites residents and visitors to Oakley City to safely and comfortably stroll, interact, and discover areas to shop, dine, relax, and gather, fostering a healthier and more vibrant community through its use of sidewalks, walkways, bikeways, and trails. These trails extend not only throughout the proposed development, but are also proposed to connect to surrounding neighborhoods, and along the highway to connect additional planned open spaces, retail shops, restaurants and event centers, and planned trails within other developments.
 - 14. Snow Storage:** The advantage of utilizing open or greenspace in a development such as this, is that it provides plenty of snow storage areas. There are designated snow storage areas located in the landscaping areas. There are sufficient snow storage areas that will not disturb parking or walking areas.

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15. Outdoor Lighting: Detailed design work for the lighting of the site was completed at this preliminary stage to ensure that the City's Dark Sky standards were not an afterthought. The detailed plan that is provided shows that the site will be lit in a way to provide safety and security to those onsite, while not creating light trespass or a visually incompatible site.

16. Compliance with Development Evaluation Standards: Careful planning of the site incorporated the City's current standards for water, wastewater, other public infrastructure, natural features and design criteria.

17. Site Design Narrative:

- a. Neighborhood Connectivity:** Embracing pedestrian, vehicular, and visual connectivity, the city center block design transforms the city block into a web of exploration and neighborhood connection. It invites residents and visitors to Oakley City to safely and comfortably stroll, interact, and discover areas to shop, dine, relax, and gather, fostering a healthier and more vibrant community through its use of sidewalks, walkways, bikeways, and trails. These trails extend not only throughout the proposed development, but are also proposed to connect to surrounding neighborhoods, and along the highway to connect additional planned open spaces, retail shops, restaurants and event centers, and planned trails within other developments.
- b. Availability of Neighborhood Facilities and Services:** The proposed neighborhood facilities and services for the Oakley City center block and surrounding developments helps to provide the community with convenience, accessibility, and well-being. From open park space to complete streets, to local retail and commercial opportunities including grocery, post office, retail, professional services, gas and vehicular repair, to restaurants and event venues, these vital resources help to intricately weave together the community's tapestry.
- c. Meeting Housing Needs:** The project does not include any residential units.
- d. Character:** Oakley City Center radiates with a spirit of vitality and purpose, embracing the values of nurturing the well-being of its residents, preserving the environment, and fostering sustainable development. It exudes a sense of community, where individuals thrive physically, mentally, and socially, and where the harmonious coexistence with nature is at the heart of its growth and prosperity. From the use of natural materials, refined and cohesive color palettes, well thought out details from the buildings to the park benches, the historic character of Oakley will be integrated within an updated, timeless aesthetic that the community will be proud to call home.

The architectural design character of the project is further detailed in the Concept Design Elements, attached to the application. The proposed design guidelines are the result of the feedback that was gathered through the numerous public meetings with the Planning Commission. The design guidelines are intended to provide the framework for the future buildings, as well as ancillary items, such as signage, fencing and landscaping features.

- e. **Site Design:** The pioneer spirit, the mountain and western aesthetic is celebrated and fostered within Oakley's site design. By integrating architectural elements that evoke the region's natural beauty and heritage, preserving open spaces, and supporting local agriculture, the site design enhances Oakley City's identity as a picturesque mountain town, fostering a strong sense of community and reinforcing its agricultural roots. Vehicular and pedestrian separation and safety are of top concern when laying out the buildings and connectivity. Visual connectivity from surrounding streets and within the development, as well as an intuitive sense of way finding will also help guests to have a memorable experience and desire to extend their visit and return often. Plazas and gathering spaces in a variety of sizes with flexible configurations will include a variety of seating options, natural and physical shade elements, and other amenities to allow for the best communal or individual experience possible.
- f. **Complete Street Design:** The design of streets and street improvements undergoes thorough evaluation, considering both aesthetic appeal and functional efficiency. Elements such as traffic control devices, way finding signage, lighting, medians, curbs and gutters, pedestrian crossings, parking strips, multi-modal paths to accommodate pedestrians, bikes, and even horses if desired, as well as thoughtfully designed and Water efficient landscaping harmoniously come together to create a well-planned streetscape that balances visual appeal with safe and accessible transportation infrastructure.
- g. **Parking Areas:** In designing a city center with ample parking for residents and visitors, the utmost care is taken to ensure that the parking areas are not only safe and easily accessible but also blend seamlessly into the surrounding aesthetic. Through thoughtful screening and design, the city center maintains its visual appeal, allowing the vibrancy and charm of the city to shine while providing convenient parking options for everyone. The city center provides approximately 227 parking stalls at a ratio of approximately 5 stalls per 1,000 square feet of building footprint. The minimum parking ratio for commercial uses in a master plan is 3 spaces/1,000 sq. ft. of net leasable space (see Oakley City Code 13-5-10-E.7). The justification for provide internal parking well over the minimum, is to ensure visitors, customers and employees will have adequate parking options without placing a burden on city infrastructure. In addition to

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the parking located within the main city center development, offsite parking on Center Street will be provided. Finally, we have included a proposal for additional oversized truck and trailer parking located on the block south of center street. This parking area would be owned by the city but would be constructed by the applicant with the development. It is designed to allow for easy access and safe circulation for all visitors and types of vehicles. Approximately eight (8) oversized stalls are proposed to be developed in this area.

- h. Public and Private Outdoor Spaces:** Designing parks, public and private spaces, green areas, and trails is paramount as they form essential components of both the physical and sociological fabric of an environment. These well-planned spaces not only offer diverse opportunities for active and passive recreation but also serve as valuable amenities, enriching the community's well-being and enhancing the overall essence of Oakley. Two community parks are proposed to act as a gateway to Center Street and the new city center. In addition, well landscaped pathways, trails, and flexible parking and streets that can be easily converted to large plaza spaces for community gather events are proposed throughout the plan to create a number of opportunities for residents and guests alike to enjoy all that Oakley City has to offer

- i. External Storage:** Each building pad site and the grocery store will have trash collection and loading areas. These have been located to reduce visibility and limit access disruptions when they are accessed.

We request your continued cooperation and partnership in reviewing and approving this application. We appreciate Oakley City's diligence in the review process. We are open and willing to meeting with you to review what is presented here at regularly scheduled meetings, or if special meetings need to be scheduled. If you have any additional questions, please feel free to reach out.

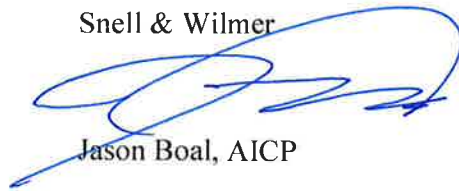
Attachments:

- Concept Site Plan
- Illustrative Site Plan
- Concept Design Elements
- Phasing Plan
- Illumination Plan
- Light Pole Specifications
- Street Light Specifications
- Utility Plan
- Grading/drainage Plan

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Sincerely,

Snell & Wilmer

A handwritten signature in blue ink, appearing to read 'Jason Boal', is written over the text 'Snell & Wilmer'.

Jason Boal, AICP



OAKLEY CITY APPLICATION for a Master Planned Development

Fees TBD

Familiarize yourself with the Oakley City Land Management and Development Code: Read in particular 13-5-10 (Master Planned Developments), Appendix B (MPD Open Space and Bonus Density Calculations), AND Chapter 6 (Affordable Housing) before submitting this application. If any portion of the property lies within the Sensitive Lands Overlay Zone, read Chapter 15 (Sensitive Lands Regulations). Discussion with the City Planner is recommended as there may be other applicable requirements.

PROJECT INFORMATION

Proposed Development Name: Oakley Town Center

Address of Project: 4882 N SR 32

Parcel: OT-41-X, OT-40-C-X, OT-40-B-X, OT-40-C-1, OT-71-A, OT-71-B, OT-50-A-X,

OT-50-X, OT-55, OT-55-A Total Project Area: acres sq ft

Current Zoning(s): VM Sensitive Lands Overlay: Yes X No

Current Use of Property: Ken's Kash, Dutch's, residential home, vacant

Lots/Units Requested: Acres of Open Space Provided: Unbuildable Acres:

Number of Affordable Housing units to be provided as per Chapter 6. NA

City Water Available: X Yes No City Sewer Available: X Yes No

If irrigation shares or other water rights are appurtenant to the property, describe such below:

Project access via: X Public Road Private Road Private Driveway

APPLICANT INFORMATION

Name: Steve Smith Phone: Email: smith.stevenb@gmail.com

Mailing Address: 48 W BROADWAY #2502, Salt Lake City, UT 84101

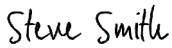
APPLICANT REPRESENTATIVE INFORMATION

Name: _____ Phone: _____

Email: _____

NOTE: Attach any additional pages, narratives, diagrams, sketches, and drawings as needed. This application will be reviewed using the regulations and criteria outlined in the current City Land Management and Development Code, the General Plan, Zoning Maps, and the current Water and Sewer Ordinances. As much detail as possible should be provided with the application based on the submission requirements provided on the following pages or in any other pertinent parts of the code. Any lack of information or clarity could delay the Master Planned Development application process.

I hereby certify that I have read this application and know the same to be true and correct.

DocuSigned by:

7BC29824C1534C3...
Signature of Owner

8/4/2023

Date

Steve Smith

Print Name

SUBMISSION REQUIREMENTS

CONCEPT MASTER PLANNED DEVELOPMENT SUBMISSION REQUIREMENTS

- Vicinity Plan – includes the location of the property, all adjacent parcels, and existing public and/or private streets and trails
- Site inventory – including:
 - Topography at minimum two-foot contour intervals;
 - Slope inventory showing slopes between 25 and 45 percent and slopes in excess of 45 percent including areas of geological hazard;
 - Natural streams, drainages, washes, and mapped wetlands and floodways;
 - Any significant rock formations, historical structures, or prominent viewpoints.
- Conceptual development plan – including a conceptual layout of all parcels, open space, rights-of-way, building envelopes, and other features including the conceptual phasing of the development.
- Statement for overall project including the following:
 - Total gross acreage of the site
 - Proposed total number of lots/units
 - Total estimated square footage for residential and commercial footprint
 - Existing easements, rights-of-way, and interests affecting the site.
- Architectural concepts – including information sufficient to describe architectural styles, color schemes, general building heights, and materials.

PRELIMINARY MASTER PLANNED DEVELOPMENT SUBMISSION REQUIREMENTS

- Identify the final proposed location of all lots, tracts, parcels, open space, rights-of-way, building envelopes, and other significant features
- Significant features (natural or cultural) protected by delineation.
- Open space areas delineated, including agricultural and natural spaces. Designate unbuildable (i.e. wetlands, slopes, etc.) open space from buildable open space. Public parks and other recreation amenities should also be shown and described in detail.
- Traffic, trails, and circulation plan including the location and design features of all motorized and non-motorized streets, trails, and parking areas
- Utility Plan showing existing and proposed utility infrastructure within the site, including sewers, water mains, all underground facilities such as telephone, gas, power, and data lines, location of fire hydrants or emergency infrastructure.
- Grading and Drainage Plan including storm water management, erosion control, grading plans for during and after construction.
 - Locations and proposed details for storm sewers, retention structures, diversions, waterways, drains, culverts, and other water management or erosion control measures
- Landscape plan including existing and proposed landscaping, planting details and irrigation details. Include number of existing trees onsite, trees to be removed, trees to be planted, and plant list that includes plant quantity, spacing, and size.
- Signage plan compliant with Dark Sky Code (13-9-18) and including:
 - Temporary signs and signs that will exist during the sale and marketing of development
 - Individual tenant or building signage
 - Directional and way-finding signage

- Sign colors, materials, and illumination methods
- Location and size
- Sign lettering and style
- Landscaping around sign beds as needed.
- Drawings or illustrations of proposed sign types
- Exterior lighting plan compliant with Dark Sky code including the location, size, height, design, and material color
- Architectural design plan including renderings that indicate elevations, exterior wall finishes, and visual character of proposed building types
- Affordable housing units, including types and deed restriction provisions, etc.
- Phasing plan (if applicable) that delineates construction and anticipated platting schedule.
- Detailed preliminary bonus density calculations as per Appendix B if requested.
- Detailed water right information for all rights and shares used on the existing property(s).
- Codes, Covenants, and Restrictions which will be recorded following approval of their content and the approval of the final MPD. Covenants demonstrate compliance with the use restrictions, architectural plans and attributes of the development and provide a mechanism for enforcement of restrictions, as well as provisions for the ownership and maintenance of common areas, open space, and other project improvements.
- Any other applicable study/report as required by Oakley City. Such studies/reports may include, but are not limited to, geo-technical report, soil report, slope inventories, and traffic impact analysis.
- Title report: ownership and encumbrance report.
- Application signed by the owner of record.

FINAL MASTER PLANNED DEVELOPMENT SUBMISSION REQUIREMENTS

After preliminary plan has been approved by the Planning Commission, the applicant shall submit final plan for approval, showing in detail the following:

- Site plan – Detailed site plan with complete dimensions showing precise location of all allowed building envelopes, buildings and structures, lot or parcel sizes and locations, designations of open spaces and special use areas, detailed circulation pattern including ownership of rights-of-way, and utility easements.
- Building plan – preliminary building plans, including floor plans and exterior elevations
- Landscape plan – Detailed landscape plans showing types and sizes of all plant materials and their locations, decorative materials, recreation equipment, and sprinkler/irrigation systems
- Parking Plan – Dimensioned parking layout showing location of individual parking stalls and all areas of ingress and egress
- Engineering Plan – Detailed engineering plans and final subdivision plat showing site grading, street improvements, drainage and public utility locations. Submission of any additionally required studies/reports
- Covenants – Copy of protective covenants, articles of incorporation, bonds and guarantees.
- Certificate of acceptance by city council for a dedication of public streets and/or public areas.

DEVELOPMENT AGREEMENT

Once the land use authority has approved either the (a) phased preliminary Master Planned Development or, (b) final Master Planned Development, the approval shall be put in the form of

a Development Agreement. The Development Agreement shall be in a form approved by the City Attorney, and shall contain, at a minimum, the following:

- Legal description of the land
- All relevant zoning parameters including all findings, conclusions, and conditions of approval. Any bonus density and related conditions shall also be specified.
- Affordable Housing details, protection, and conditions.
- An express reservation of the future legislative power and zoning authority of the City
- A copy of the approved master plan, architectural plans, landscape plans, grading plan, trails and open space plan, and other plans which are a part of the Planning Commission approval
- A description of all developer exactions or agreed upon public dedications
- The Developers agreement to pay all specified impact fees
- The form of ownership anticipated for the project and the specific project phasing plan
- Final Covenants, Conditions, and Restrictions

The Development Agreement shall be ratified by the land use authority signed by the City Council and the Applicant, and recorded with the County Recorder. The Development Agreement shall contain language which allows for minor, administrative modifications to occur to the approval without the revision of the agreement. The Development Agreement must be submitted to Oakley City within six (6) months of the date the project was approved by the land use authority, or said approval shall expire.

**** Please note that you will be invoiced for the cost of public noticing. Invoice must be paid prior to date of public hearing.**

SUBDIVISION APPLICATION PROCESS

MPD Related Code:

All applications for a master planned development are subdivision and shall meet the following minimum requirements. Additional project information necessary for the project analysis may be required at the discretion of the City Planner, Planning Commission, or City Council.

1. **Density:** The maximum density permitted on the project site will be determined as a result of a site analysis. The maximum density shall not exceed that set forth in the proposed or existing zone, except as otherwise provided in this section. In cases where a project site contains more than one (1) zone, the City Council may permit the clustering of density irrespective of zone boundaries so long as the relocation results in the project advancing the goals set forth in the General Plan.
2. **Density Bonus:** A density bonus may be permitted based on a site analysis and in accordance with the provisions and formula outlined in appendix B of this Title. Bonus density is a negotiated process and is not an entitlement or guarantee. Bonus density may be granted through a development agreement by one or more of the following as detailed in Appendix B:
 - a. Provision of permanent deed restricted open space.
 - b. Protection of the Weber River corridor.
 - c. Provision of public non-motorized trails.
 - d. Provision of water efficient landscape designs.

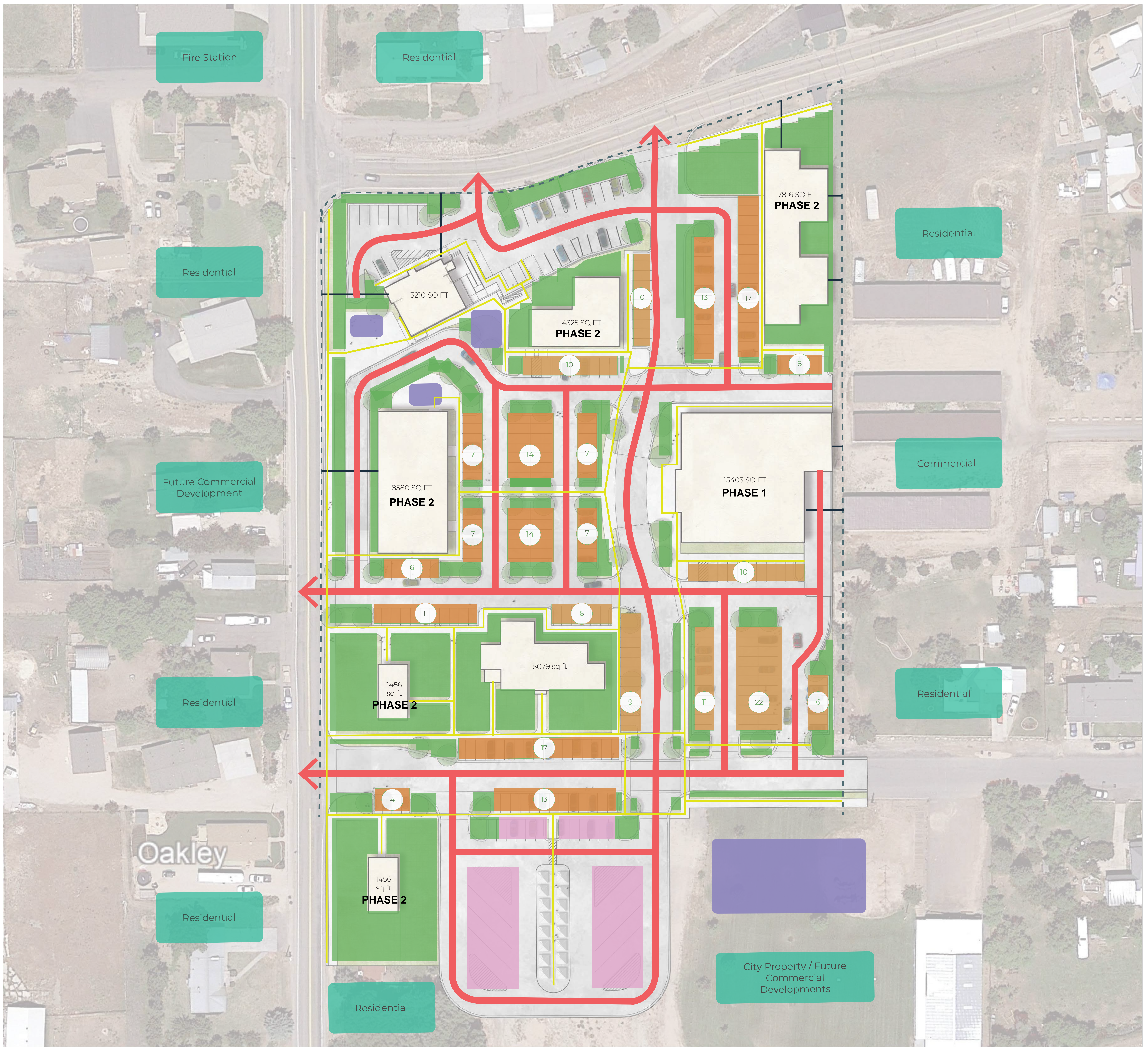
- e. Other critical public infrastructure contributions
3. **Setbacks:** The minimum setback around the exterior boundary of an MPD shall match the setbacks of the more restrictive/larger abutting zone setback. In some cases, that setback may be increased to create an adequate buffer to adjacent uses. The City Council may reduce or increase setbacks within the project from those otherwise required provided the project meets minimum Building Code and Fire Code requirements and can demonstrate that such change:
 - a. Maximizes agricultural land or open space; and/or
 - b. Avoids important natural features of the site.
 4. **Building Height:** The maximum building height for all structures within a master planned development shall not exceed the zone standard. The City Council may grant additional building height beyond the maximum zone standard up to forty-five feet (45') based on demonstrated good cause related, but not limited to, structured parking, affordable housing, deed restricted open space, community outdoor common area improvements or superior architectural design.
 5. **Reduction of Minimum Lot Size Requirements:** The City Council may reduce the minimum lot size specified in a zone if it finds the proposed decrease in minimum lot size improves the site design, clustering of buildings, and/or preservation of agricultural land or open space.
 6. **Open Space:** Master planned developments shall provide for open space or greenspace of at least ten percent (10%) of the site area regardless of any possible bonus density approved. This minimum open space does not need to be permanently deed restricted but may be part of the existing lots and designated as such.
 7. **Off-Street Parking:** Master planned developments shall meet the following off-street parking standards:
 - a. Residential uses:
 - (1) Single family dwelling unit (Minimum 2 spaces/unit)
 - (2) Duplex dwelling unit (Minimum 2 spaces/unit [total of 4/building])
 - (3) Accessory dwelling unit (Minimum 1 space/unit)
 - (4) Guest house (Minimum 1 space/unit)
 - (5) Multi-unit (3 or more units) (Minimum 1 space/unit)
 - b. Non-residential uses:
 - (1) Commercial/retail:
(3 spaces/1,000 sq. ft. of net leasable floor area)
 - (2) Commercial/restaurant-café:
3 spaces/1,000 sq. ft. of net leasable floor area
 - (3) Hotel/lodging:
1 space/guest room or suite; 2 spaces/1,000 sq. ft. support commercial
 - (4) Offices:
2.5 spaces/1,000 sq. ft. net leasable area

The off-street parking requirements for any other uses not listed above shall be determined by the City Council based on a project-specific parking study. The City Council may reduce or increase the overall parking requirement for a master planned development based upon the applicant demonstrating reasonable justifications for the increase/decrease in parking spaces. The City Council may grant additional exterior/surface parking provided such parking is designed to include permeable surfaces, additional

landscaping and buffering. Additional off-street parking regulations are found in section 13-9-22.

8. **Designing with The Topography:** Master planned developments shall be designed to fit into the topography of the site. The City Council may consider flexibility in the siting of development so as to best fit into the natural terrain, minimize excessive site grading and mitigate impacts on the natural environment and resources of the surrounding area. The project design shall demonstrate the preservation of watercourses, drainage areas, wooded areas, rough terrain and similar natural features and areas.
9. **Designing with Adjacent Uses:** The master planned development plan shall take adjacent land uses into consideration. Development along the project perimeter shall adequately mitigate any potentially adverse effects, including but not limited to flooding, erosion, subsidence, sloping of the soil or other dangers and nuisances.
10. **Access:** All master planned developments shall have vehicular access from a public road or suitable private road. All projects of eight (8) or more lots shall have a secondary point of access/emergency access unless otherwise mitigated to the satisfaction of the City Engineer and/or Fire Marshal. All roads/streets shall follow the natural contours of the site wherever possible to minimize the amount of grading.
11. **Utilities:** Existing or proposed utilities, including private and public services for master planned developments will be adequate to support the proposed project at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources. Unless otherwise permitted by this chapter, all master planned developments shall comply with all requisite infrastructure standards found in chapter 9 of this Title.
12. **Building Locations:** All buildings shall be located to avoid, to the extent practicable, valuable greenspaces, wetlands, riparian areas, steep slopes and ridgelines. Building locations and associated lot configurations should be oriented to encourage active and passive solar design principles wherever practicable.
13. **Connectivity:** Internal and external vehicular/pedestrian/bicycle circulation should be demonstrated at the time of application as deemed necessary by the City Council. Pedestrian/equestrian/bicycle circulation trails and paths should be separated from vehicular circulation wherever reasonable.
14. **Snow Storage:** Master planned developments shall include adequate areas for snow removal and snow storage. An appropriate form of landscaping plan shall allow for snow storage areas. Structures shall be set back from any hard surfaces so as to provide adequate areas to remove and store snow. The assumption is that snow should be able to be stored on site and not removed to an off-site location.
15. **Outdoor Lighting:** All outdoor lighting shall meet the City's Dark Sky standards and will be down directed and fully shielded. All outdoor lighting shall be designed and installed to prevent light trespass on adjacent properties. See section 13-9-18 for further regulations.
16. **Compliance with Development Evaluation Standards:** Unless otherwise permitted by this chapter, all master planned developments shall comply with all requisite development evaluation standards found in chapter 3 of this Title.
17. **Site Design Narrative:** An application for a master planned development shall include a written explanation of how the project plan addresses the following design questions:

- a. **Neighborhood Connectivity:** How does the proposed development interconnect and the surrounding properties, neighborhood, and area? Including but not limited to:
 - (1) Where will vehicles enter and exit the site?
 - (2) Where will new streets be developed?
 - (3) Is there a need for pedestrian and bicycle routes (including trails and sidewalks) through the project area? If so, how are such needs addressed?
- b. **Availability of Neighborhood Facilities and Services:** Is the location of the proposed development within reasonable proximity (including walking and biking) to community facilities such as schools, retail centers, parks, etc.?
- c. **Meeting Housing Needs:** How does the proposed development advance the community need for a mix of housing types and affordability?
- d. **Character:** What are the architectural design character objectives of the proposed development? How do these design objectives address the local context, climate, and/or community needs?
- e. **Site Design:** How is the proposed development designed to take advantage of the existing topography, landscape features, trees, wildlife corridors, existing structures, minimize site grading, etc.?
- f. **Complete Street Design:** How is the proposed development street/circulation system designed to accommodate a variety of transportation modes (where appropriate), easy route finding, and safe speeds?
- g. **Parking Areas:** How does the proposed development balance the need for parking with the need to design parking areas in a manner that minimize visibility, site grading, and exterior lighting?
- h. **Public and Private Outdoor Spaces:** What are the proposed development's need(s) for outdoor space, open space, greenspace, habitat/wildlife areas, parks, or outdoor amenity areas? How does the proposed development address these needs?
- i. **External Storage:** How does the proposed project address needs for garbage collection, equipment storage, etc.?



- Parking, 227 stalls
 - Temporary south parking, 12 vehicular stalls / 8 trailer stalls
 - Vehicular circulation
 - Pedestrian circulation
 - Property line
 - Potential snow storage
 - Adjacent property
 - Open space + landscape, 37,113 sq ft (15.4% of site)
- 45,762 Total building sq ft
- Building setback

PHASE 1
Phase 1 includes the Grocery Store, overall site infrastructure, vehicular and pedestrian circulation, parking, and open space

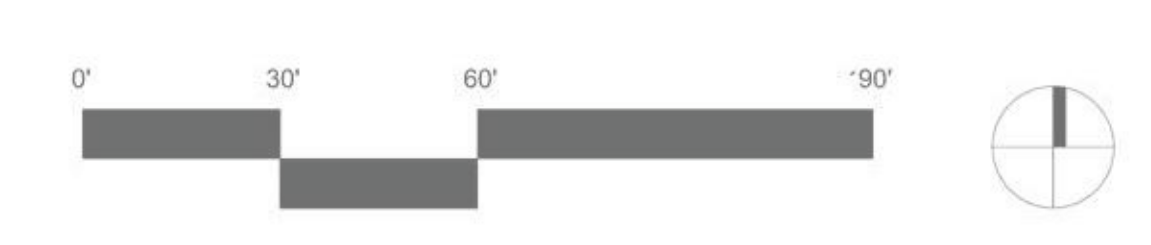
PHASE 2
The timing and build out of Phase 2 buildings and related lot design is dependent upon market conditions

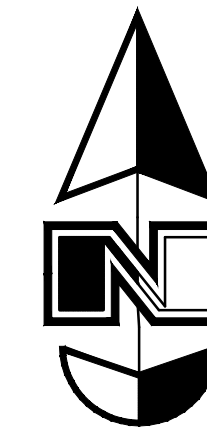
OAKLEY TOWN CENTER
OAKLEY, UT
STENA GROUP
ILLUSTRATIVE SITE PLAN - IN PROGRESS



DATE	REVISION

PROJECT NUMBER





Scale: 1" = 50'
50' 0 50' 100'

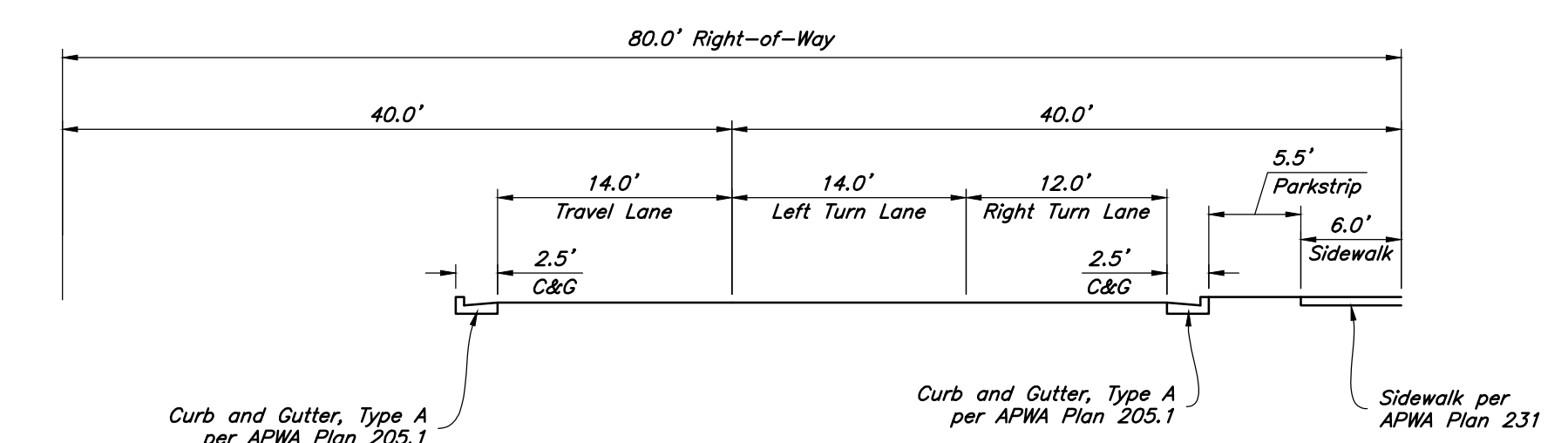
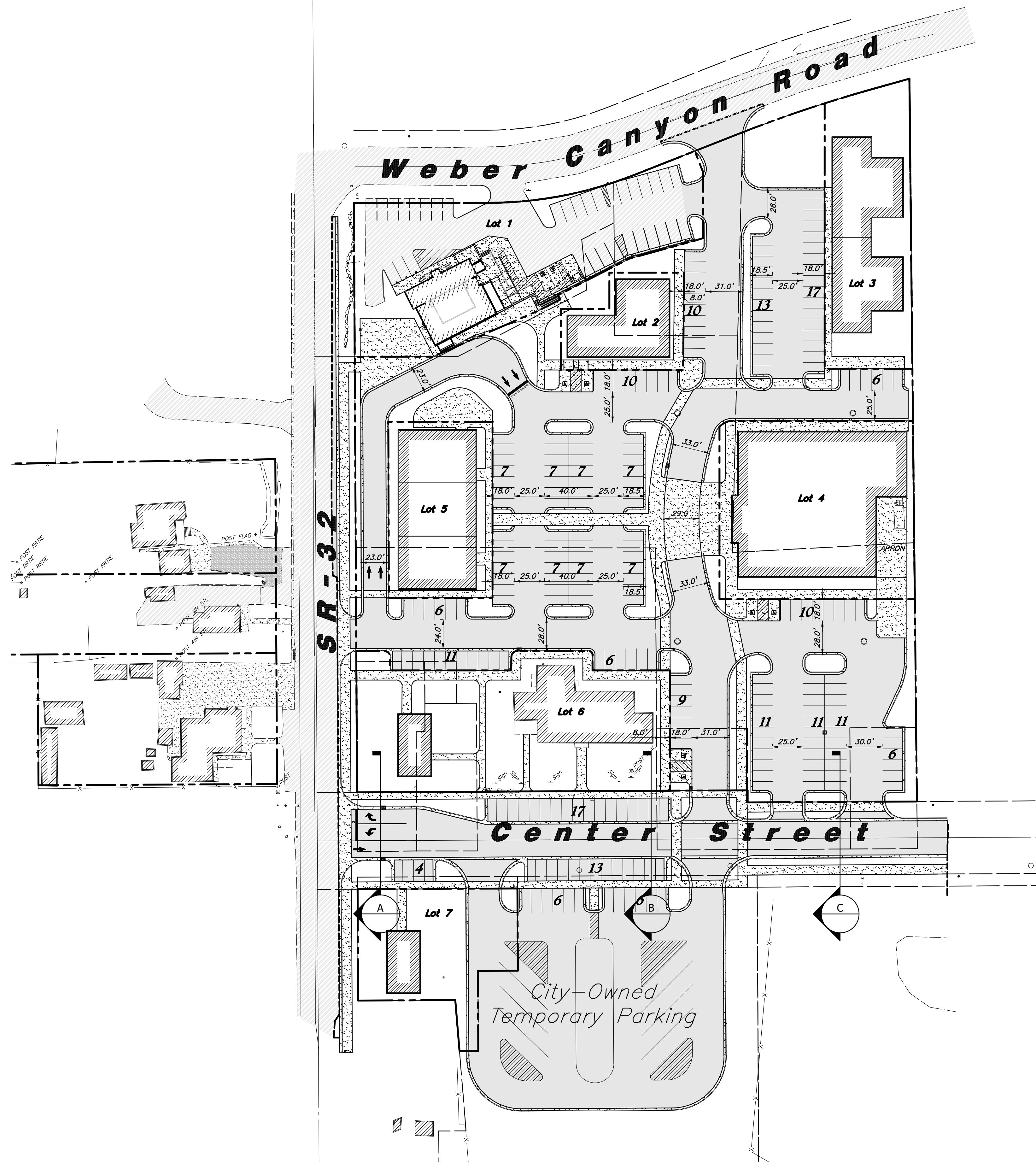
Hatch Legend

	Standard Asphalt Paving
	Existing Asphalt Paving
	Standard Concrete Paving
	Existing Concrete Paving
	Building Interior

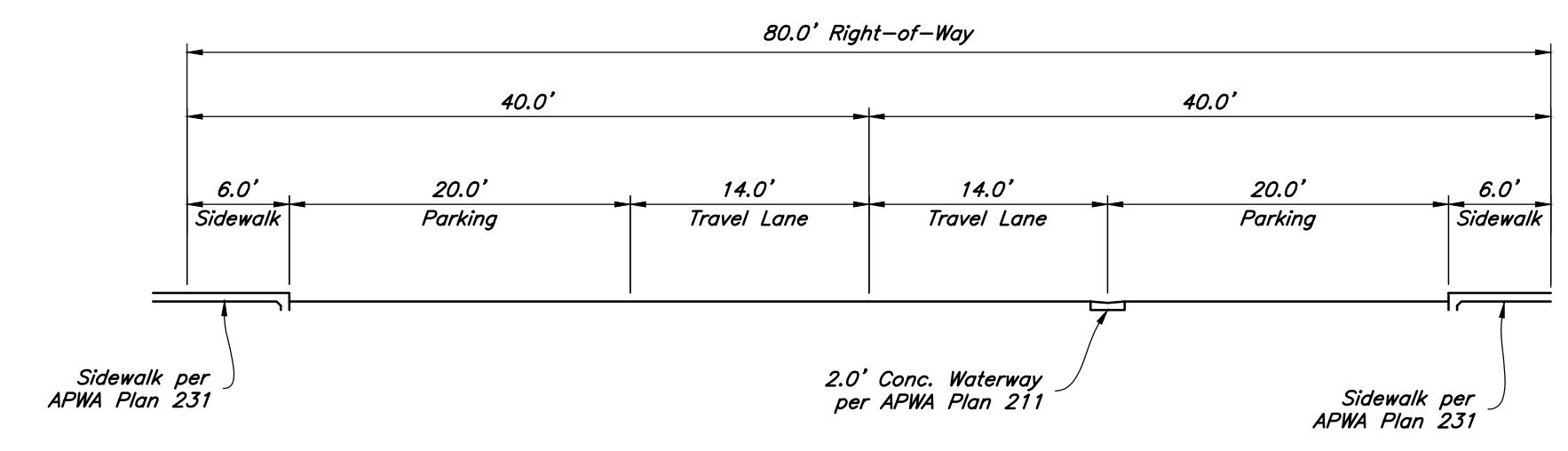
Site Data

Site Area = 241,003 s.f. (5.533 ac.)
 Landscape Area Provided = 51,424 s.f. (21.3%)
 Impervious Area Provided = 143,806 s.f. (59.7%)
 Building Area = 45,773 s.f. (19.0%)
 Parking Required = 1/x s.f. = x stalls
 Parking Provided:
 Onsite Parking = 209 stalls (x/1,000)
 Offsite Parking = 46 stalls
 Total Parking = 255 stalls

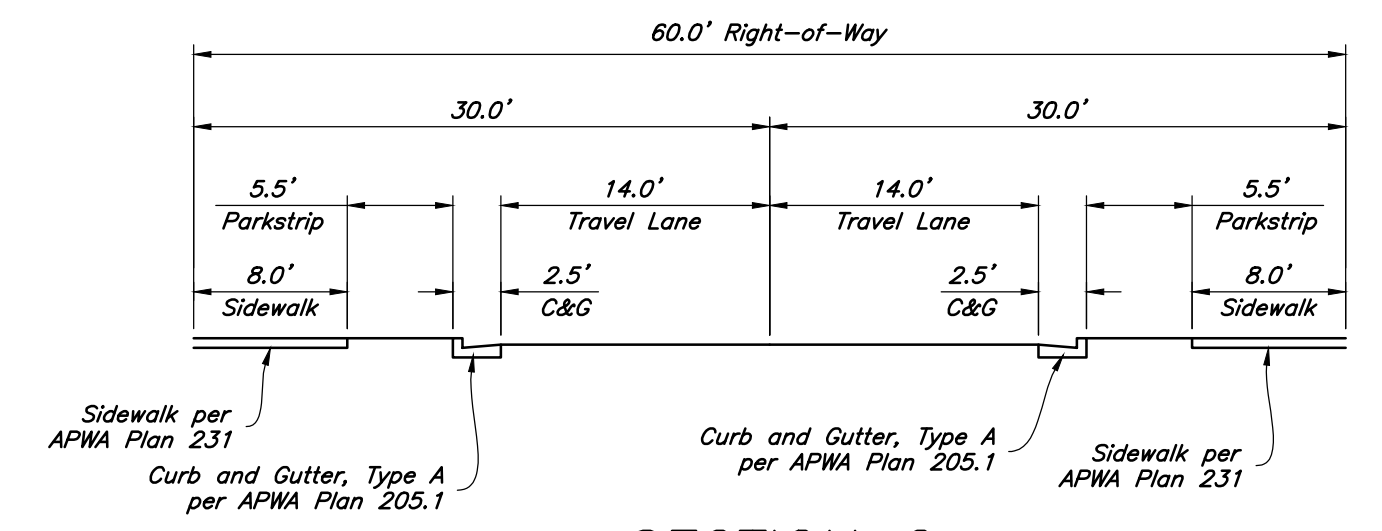
Designed by: EM
 Drafted by: DW
 Client Name: Client
 23-080 sp



SECTION A



SECTION B



SECTION C

General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:
 The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Concept Site Plan
Oakley - City Center
 960 West Center Street
 Oakley, Utah

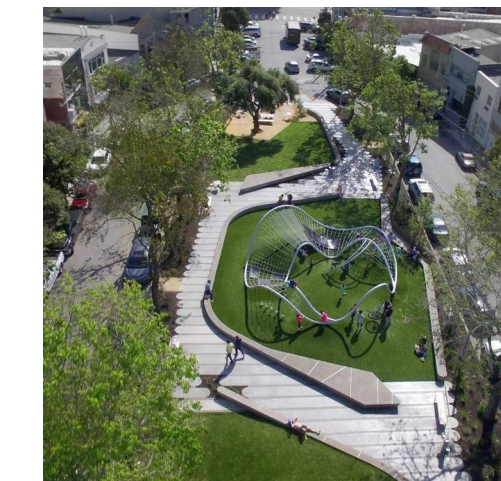
07 July, 2023
 SHEET NO.
C1.1

WA\23-080 Oakley - City Center\Drawings\23-080_splan.dwg, 8/12/2023 4:14:52 PM, 1:1, D.W.

7/19/2023 1:13:11 PM



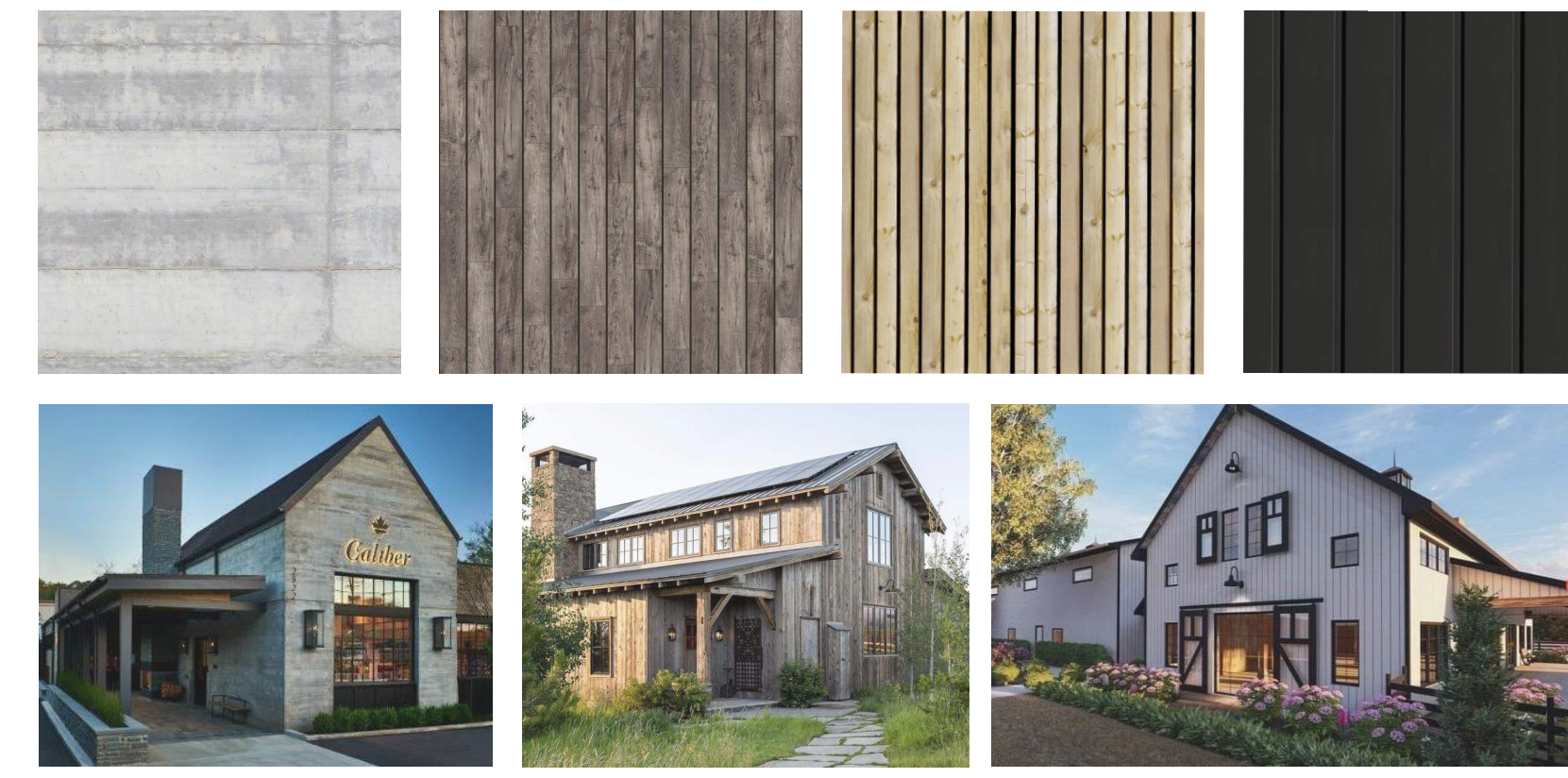
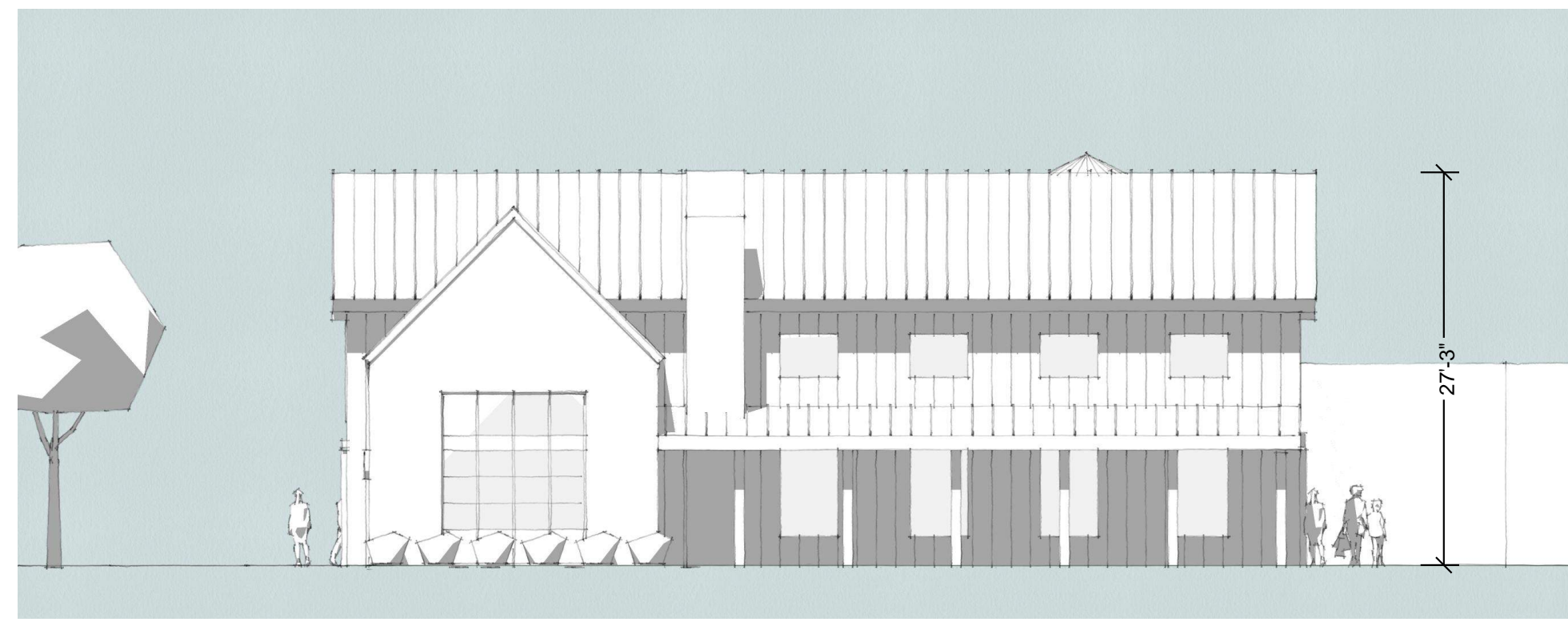
- Design Elements
- Water tower
 - Wood sloped roof
 - Earth tones
 - Pitched roof
 - Rock
 - Stone
 - Wood
 - Active community vibe
 - Stepped roof line
 - Modern barn
 - Main Street aesthetic



7/19/2023 1:13:11 PM



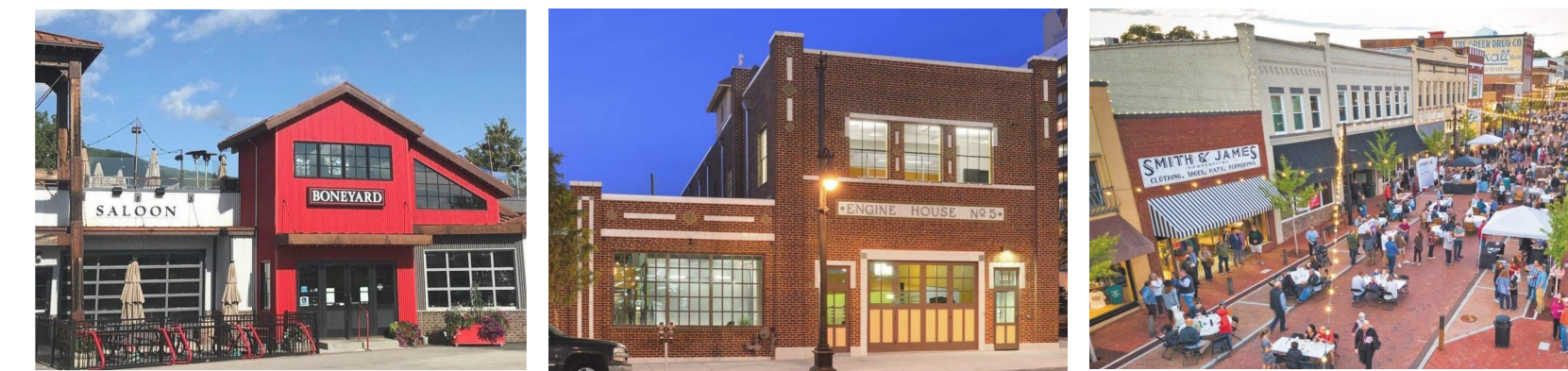
BARN RETAIL ELEVATION



Weathered timber and board-form concrete combined to create a modern expression of a rustic agricultural history and barn aesthetic.



MAIN STREET ELEVATION



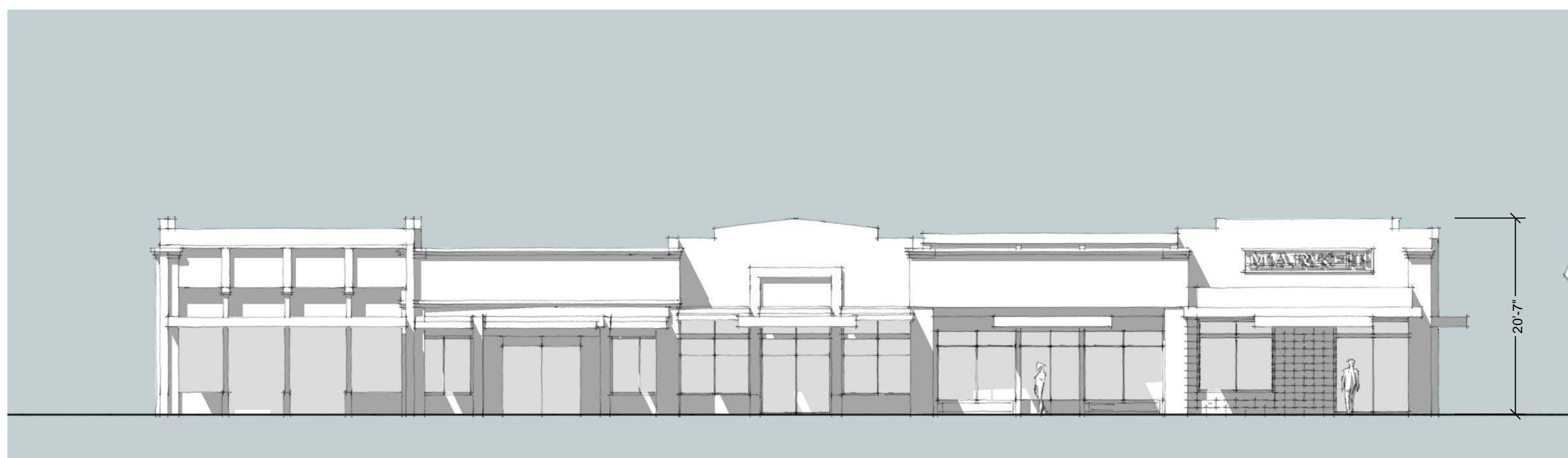
The combination of brick and timber planks creates a captivating main street design with a historical and traditional aesthetic.



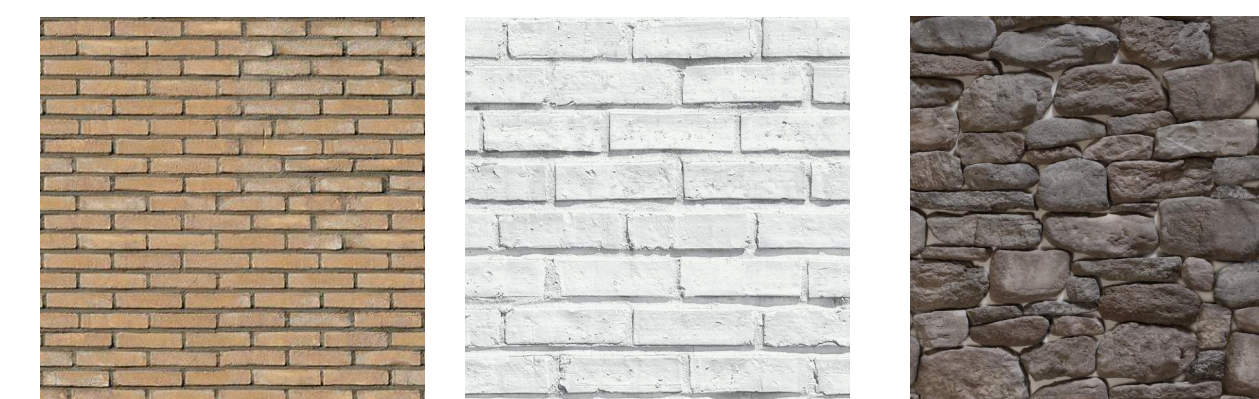
GROCERY ELEVATION



Weathered timber and rustic stone are used to evoke the agricultural heritage of Oakley, particularly it's iconic barns and silos.



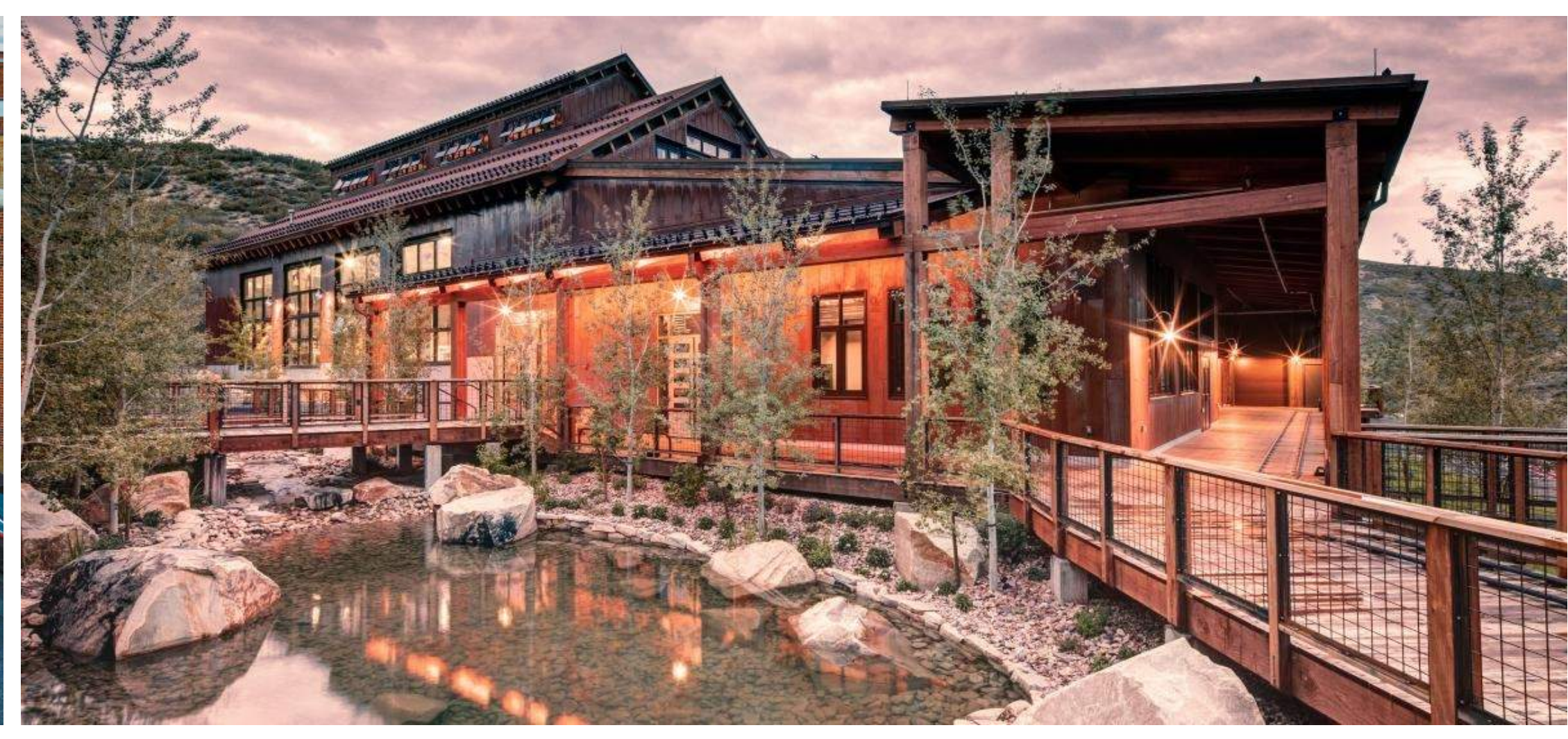
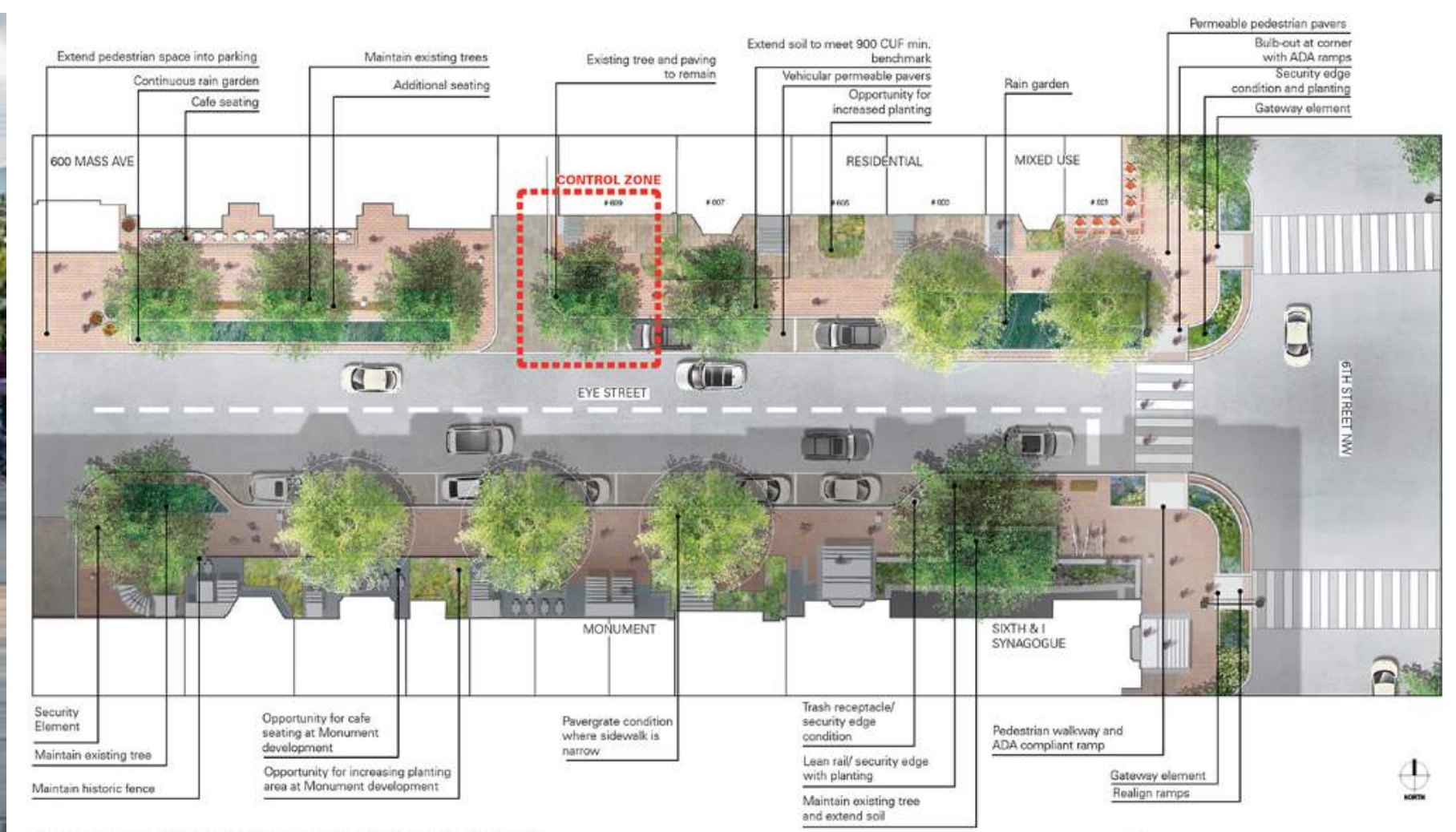
RETAIL ELEVATION



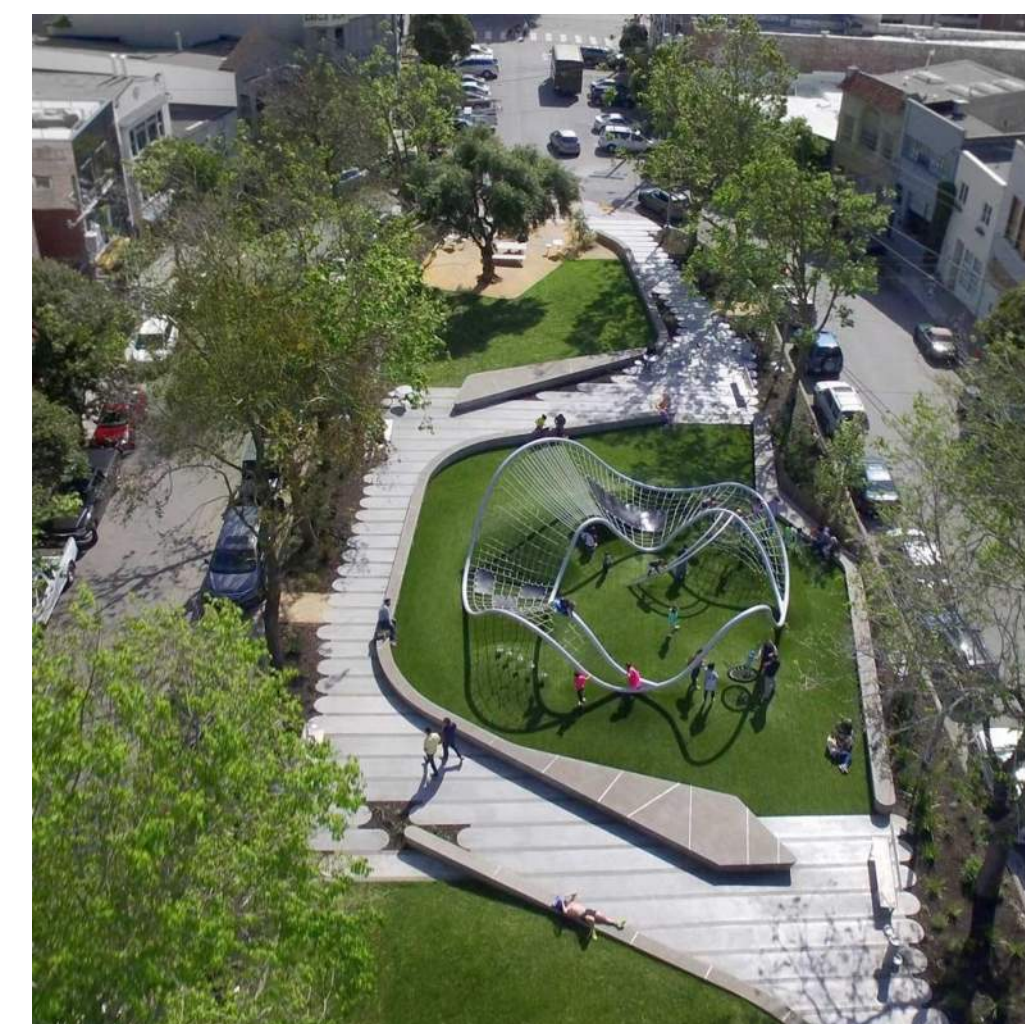
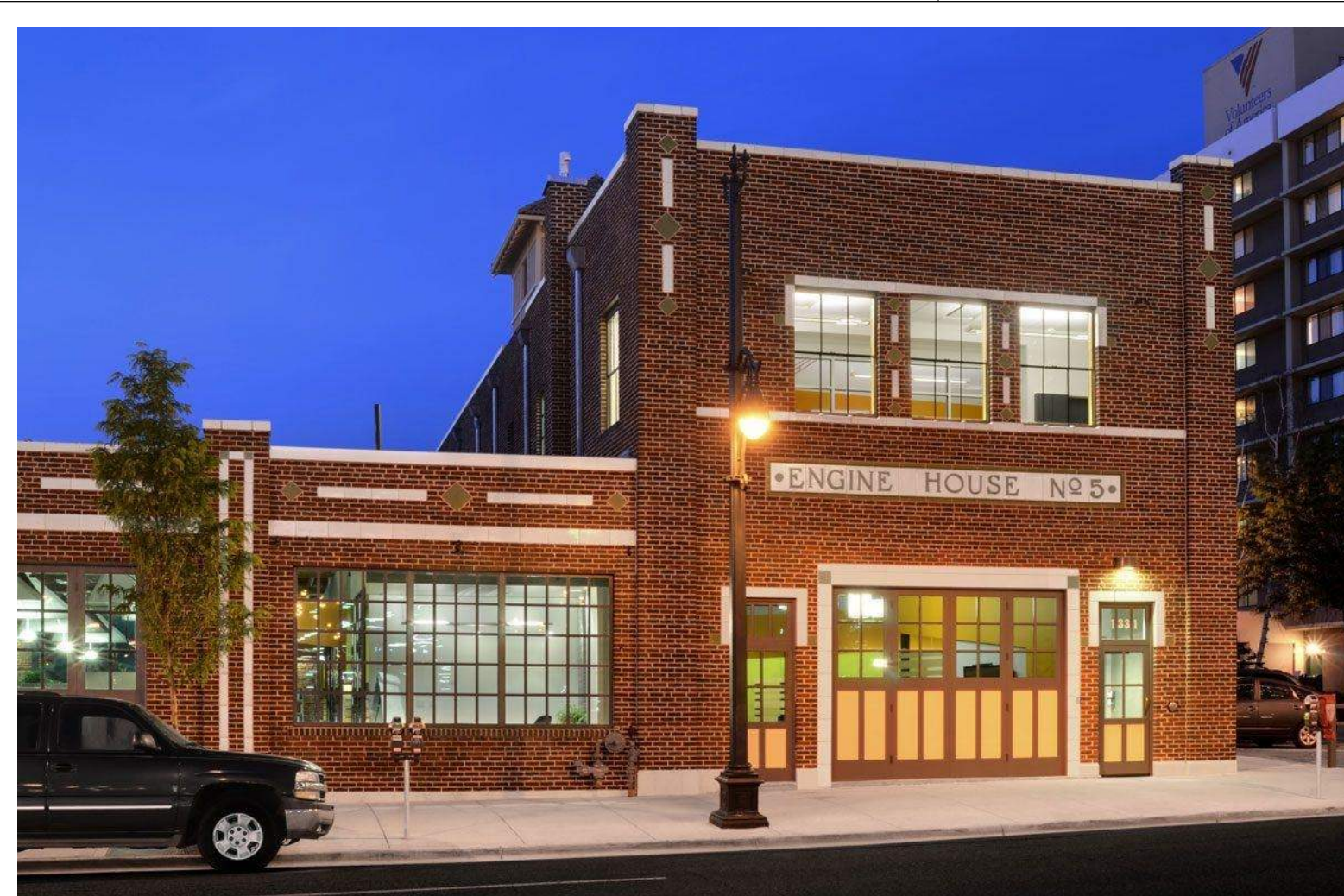
Traditional and contemporary brick and rustic stone are used to honor the historical architectural past.



7/19/2023 1:13:10 PM



7/19/2023 1:13:11 PM



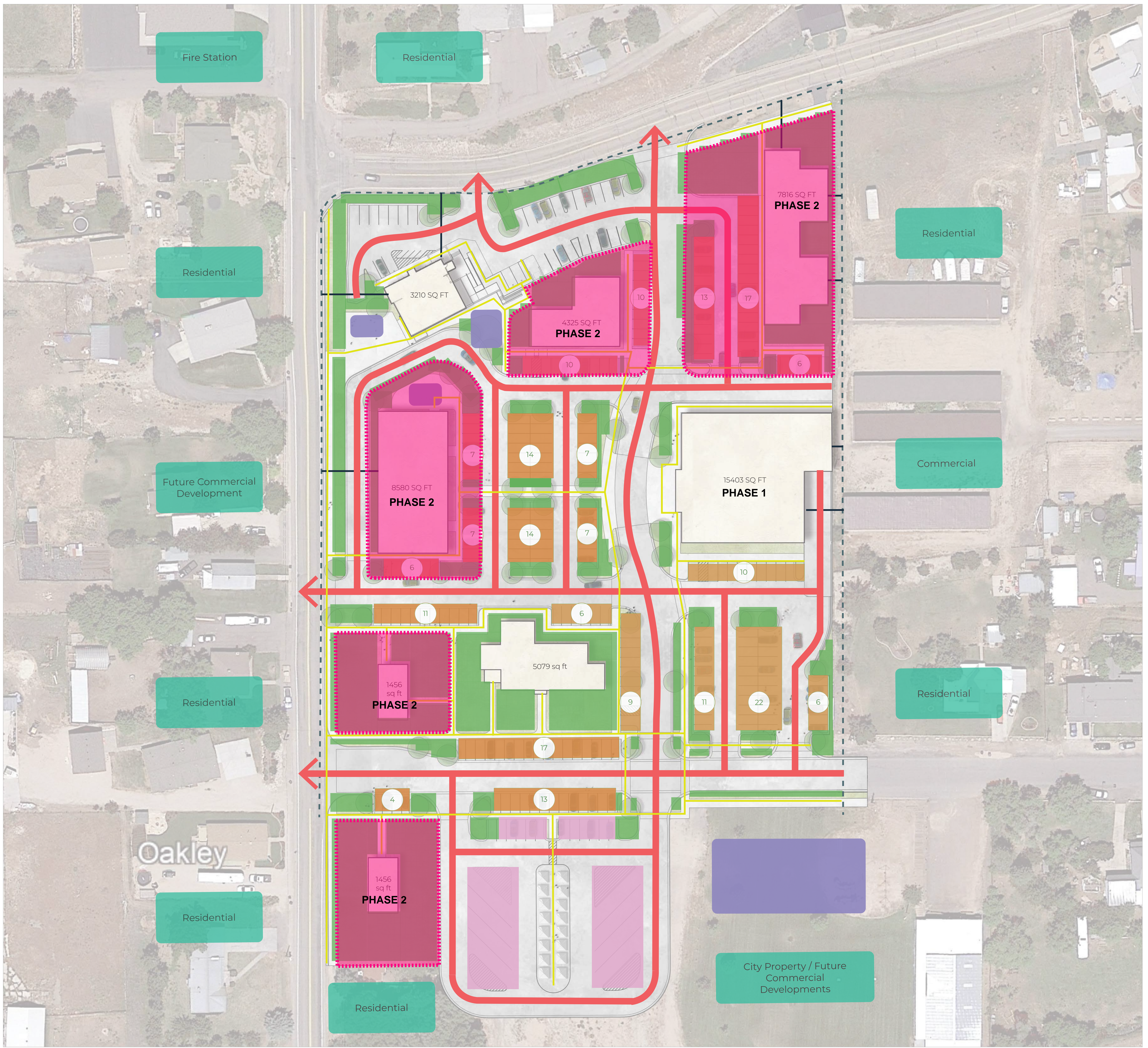
FFKR ARCHITECTS
730 Pacific Avenue - Salt Lake City, Utah 84104
© 2015, 2016, 2018 - FFKR.COM

OAKLEY
Enter address here
STENA
CONCEPT GATHERING - 07.19.23

△ DATE REVISION

PROJECT NUMBER Project Number

CONCEPT IMAGES



- Parking, 227 stalls
 - Temporary south parking, 12 vehicular stalls / 8 trailer stalls
 - Vehicular circulation
 - Pedestrian circulation
 - Property line
 - Potential snow storage
 - Adjacent property
 - Open space + landscape, 37,113 sq ft (15.4% of site)
- 45,762 Total building sq ft
- Building setback

PHASE 1
Phase 1 includes the Grocery Store, overall site infrastructure, vehicular and pedestrian circulation, parking, and open space

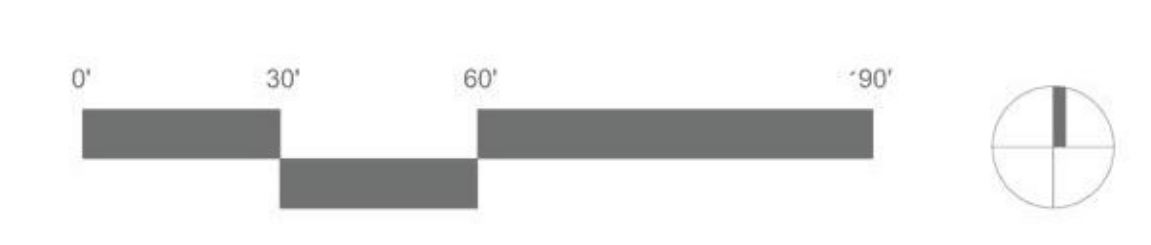
PHASE 2
The timing and build out of Phase 2 buildings and related lot design is dependent upon market conditions

OAKLEY TOWN CENTER
OAKLEY, UT
STENA GROUP
ILLUSTRATIVE SITE PLAN - IN PROGRESS



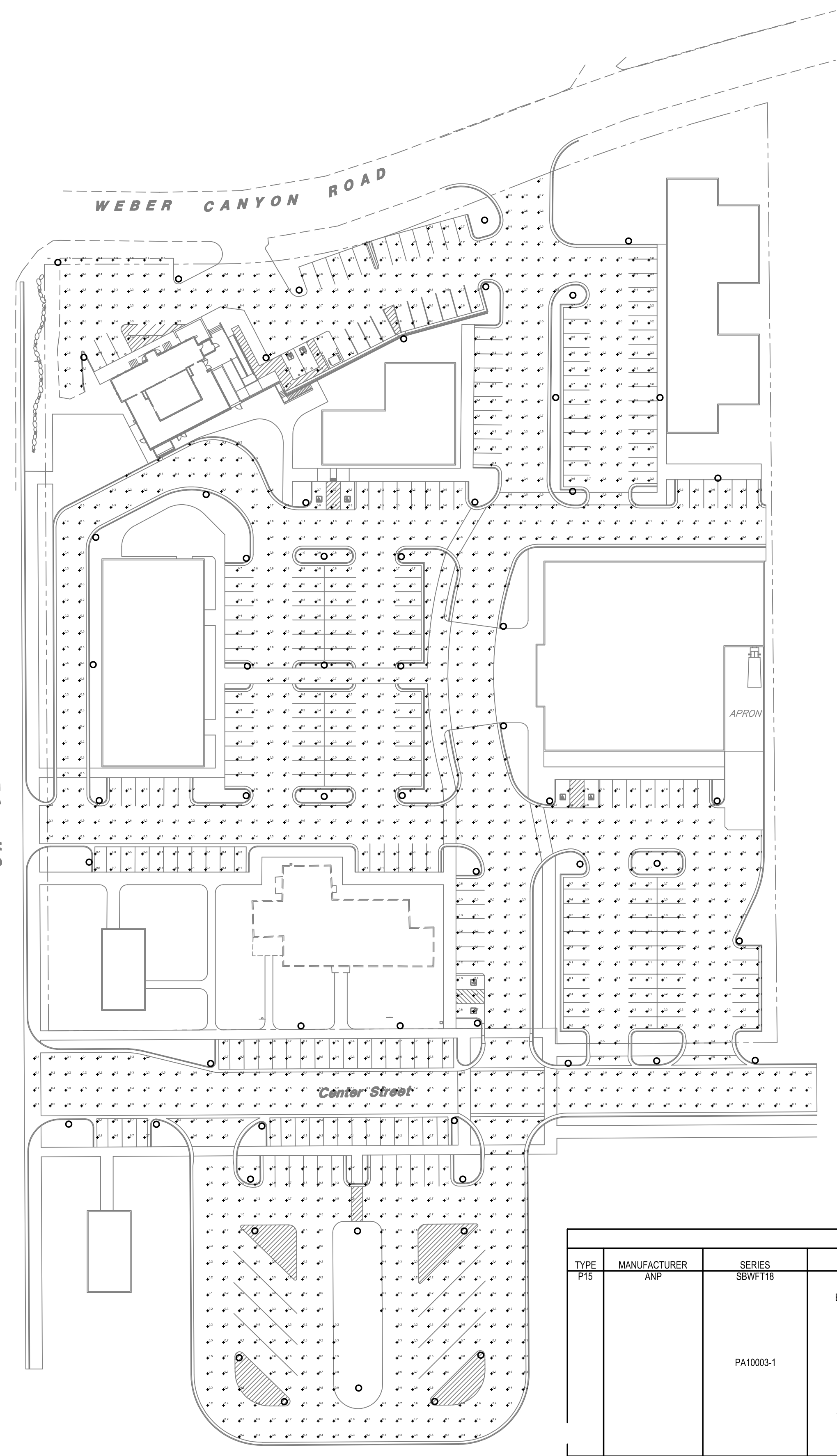
DATE	REVISION

PROJECT NUMBER



1 2 3 4 5 6

E
D
C
B
A



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Central Parking Areas	+	0.5 fc	1.2 fc	0.1 fc	12.0:1	5.0:1
Weber Canyon Road Parking Areas	+	0.5 fc	1.0 fc	0.1 fc	10.0:1	5.0:1
Center Street Parking Areas	+	0.5 fc	1.2 fc	0.1 fc	12.0:1	5.0:1

LIGHT FIXTURE SCHEDULE												
TYPE	MANUFACTURER	SERIES	DESCRIPTION	VOLTAGE	LOAD (VA)	MOUNTING	NUMBER	LAMPS				REMARKS
								TYPE	WATTS	COLOR (KELVIN)	CRI	
P15	ANP	SBWFT18	SINGLE HEAD AREA LIGHT IES TYPE 5 DISTRIBUTION EDGE-LIT LED / 925 MA DRIVER / 2,500 MAX. LUMENS CUSTOM COLOR BY ARCHITECT	277	30	POLE 16'	A/R	LED	30	3000	80	MAX. FIXTURE LIGHT OUTPUT TO BE NO MORE THAN 2,500 LUMENS PER LOCAL CODE. L70 RATING > 80,000 HOURS
		PA10003-1	16' HIGH STEEL POLE STRAIGHT SQUARE SHAPE CUSTOM COLOR BY ARCHITECT POLE TO WITHSTAND 110 MPH WIND LOADING WITH A 1.3 GUST FACTOR. PROVIDE CALCULATIONS									

SITE ILLUMINATION PLAN
SCALE: 1" = 50'-0"
NORTH

OAKLEY - CITY CENTER
960 WEST CENTER STREET
OAKLEY, UTAH

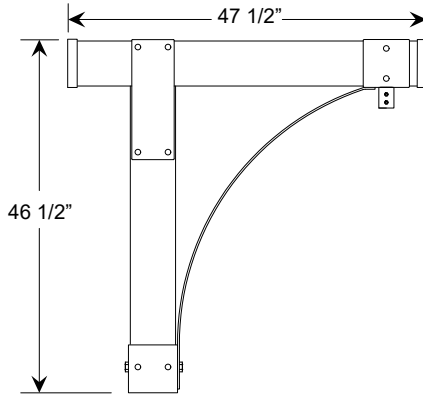
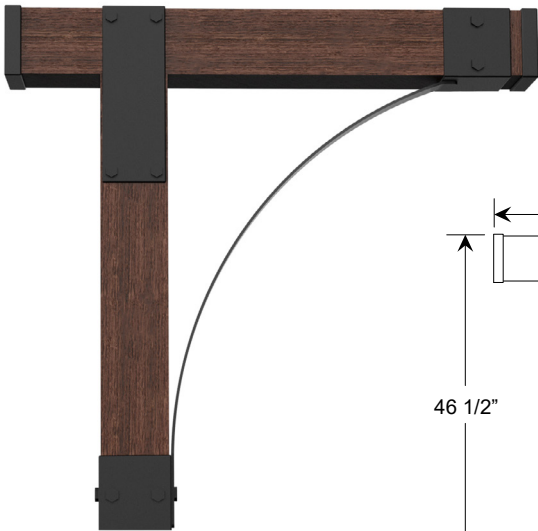
NO.	DATE	REVISIONS
△		
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ISSUE: CITY REVIEW
DATE: 08/02/2023
DRAWN BY: SDK
DESIGNED BY: SK / AK
CHECKED BY: DT

ENVISION PROJECT NO: 2023.166.00

SITE ILLUMINATION PLAN

File Name: P:\2023-166.00 - Oakley City Center - Photometrics\01_Dwg\SES 01.dwg, Last Plotted: 2023/08/02 @ 7:12:38 PM By: SKINGERY



Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____



Specifications

General:
 Due to size or weight, arms mounts may not accommodate all ANP luminaires.

Material:
 All parts are high strength extruded aluminum .188 wall thickness.

All hardware provided shall be stainless steel or zinc plated steel.

Fixture Mounting:
 Dual clevis pin to male coupling.

Post Arm Mounting:
 Slip tenon to accommodate 6" square pole.

Pole section of arm matches pole diameter and style.

Electrical:
 Pull wire provided.

Finish:
 Sequoia wood grain powder coat finish is skillfully hand streaked with black paint to mimic textured wood. #72 Matte Black paint finish is standard for decorative scroll and aluminum banding.

Modifications:
 Consult factory for custom or modified designs.

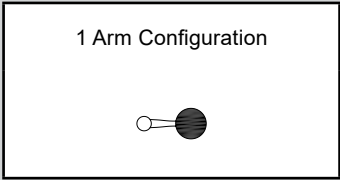
PA10003-1
 1 Lt Post Arm for Pendant Fixture
 Weight: 38 lbs
 EPA: 3.99

Catalog Logic

PA1000	3	1	N/A	6	S	99
Post Arm Style	Pendant Post	Number of Arms	Center Mount	Pole Dimension	Pole Style	Finish

Catalog Number

1	2	3	4	5	6	
PA1000	3	1	N/A	6	S	99

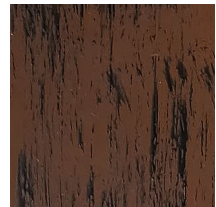


- 1 POST ARM ORIENTATION**
3 Pendant
- 2 NUMBER OF ARMS**
1 One Arm Configuration
- 3 CENTER MOUNT OPTIONS**
N/A

- 4 POLE DIMENSIONS**
6 6" X 6" Square
- 5 POLE STYLE**
S Smooth

6 FINISHES

Sequoia	99
Consult Factory for additional paint charges and availability.	





Specifications

Material:
Spun housing is 12 gauge (0.080") 1100 series aluminum. Other parts are A356 cast aluminum. Hardware is stainless steel or zinc-plated steel.

Lens:
EVONIK ACRYLITE® Satinice, 92% Light Transmission, reduces pixilation and glare (for TIR LED only)

Fixture Mounting:
Pendant Mount: Hangs from tenon with Dual Clevis Pins.

Drivers:
Universal Voltage 120-277V is standard. 0-10V dimming is standard. (Refer to Driver Specification section for other specifications.)

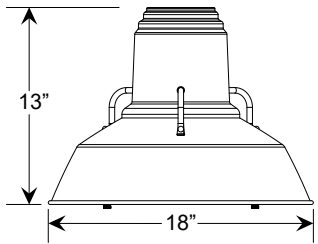
Dark Sky Friendly:
To maintain dark sky friendly compatibility: ≤ 3000K

Electrical:
A lightning surge protective device is standard (20KA³ Max/10KA² Nominal). Approximately 12" of pull wire extends from luminaire. All luminaires are prewired with 0-10V dimming leads. Additional pull wire provided for post mount arms and wall mounts.

Finish:
A polyester powder coat high quality finish. Marine grade finish is available.

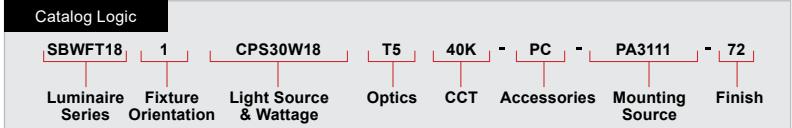
Modifications:
Consult factory for custom or modified designs.

Buy American:
This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. [Click here for additional information.](#)



SBWFT18

EPA: 0.73
Weight: 13 lbs.



1 FIXTURE ORIENTATION

3 (Pendant)

2 LIGHT SOURCE & WATTAGES

TIR Performance Platform

CPS30W18 (30W TIR Performance Platform)

CPS39W18 (39W TIR Performance Platform, CA Title 24)

CPS46W18 (46W TIR Performance Platform)

*Includes drop-down diffuser lens.

Edge-Lit LED Small*

E030LDS (30W Small Edge-Lit LED Comfort Solution)

E039LDS (39W Small Edge-Lit LED Comfort Solution, CA Title 24)

E050LDS (50W Small Edge-Lit LED Comfort Solution)

E065LDS (65W Small Edge-Lit LED Comfort Solution)

E080LDS (80W Small Edge-Lit LED Comfort Solution)

*See LED Performance Charts for distribution type compatibility.

3 OPTICS

T2 (Type II)

T3 (Type III)

T4 (Type IV)

T5 (Type V)

4 CCT (COLOR TEMPERATURE)

27K (2700K)

30K (3000K)

35K (3500K)

40K (4000K)

50K (5000K) Consult Factory

5 ACCESSORIES

HSS90 (90° House Side Shield)

HSS120 (120° House Side Shield)

EMG-LED10 (10W LED Emergency Driver)

EMG-LED20 (20W LED Emergency Driver, for all Light Sources & Wattages)

EMG-LED30 (30W LED Emergency Driver)

HLMSPC-06 (On-off Motion Sensor/Photocell; 15' - 30' Sensor Mounting Height)

HLMSPC-10 (On-off Motion Sensor/Photocell; 8' - 15' Sensor Mounting Height)

PC (Button Photo Cell)

TLPC (ANSI C136.41 Twist Lock Photocell, includes receptacle and 120-277V photo cell)

TL5 (ANSI C136.41 5-Pin Twist Lock Receptacle only)

TL7 (ANSI C136.41 7-Pin Twist Lock Receptacle only)

Most EM Packs are remote mount only (consult factory). 10W & 30W EMG's are not compatible with all LED Light Source and Wattages. For compatibility and for percent lumens in emergency mode, see Technical Section at www.ANPlighting.com.

6 MOUNTING SOURCE

Custom Pole and Arm Assembly together

7 FINISHES

*Premium and Marine Grade Finish have additional charges

Standard Colors	Standard Grade	Marine Grade*	Standard Colors	Standard Grade	Marine Grade*
Aspen Green	10	10M	Copper Clay	53	53M
Cantaloupe	11	11M	Silver	56	56M
Lilac	12	12M	Black Verde	61	61M
Black	41	41M	Painted Chrome	70	70M
Forest Green	42	42M	Painted Copper	71	71M
Bright Red	43	43M	Textured Black	72	72M
White	44	44M	Matte Black	73	73M
Bright Blue	45	45M	Textured Architectural Bronze	76	76M
Sunny Yellow	46	46M	Textured White	77	77M
Aqua Green	47	47M	Textured Silver	78	78M
Galvanized	49	NA	PREMIUM FINISH	Premium Grade*	Marine Grade*
Navy	50	50M	Textured Desert Stone	80	80M
Architectural Bronze	51	51M	Graystone	82	82M
Patina Verde	52	52M	Oil Rubbed Bronze	83	83M
			Carbon Graphite	96	96M

Consult Factory for additional custom RAL color.



Project Name: _____

Fixture Type: _____ Quantity: _____

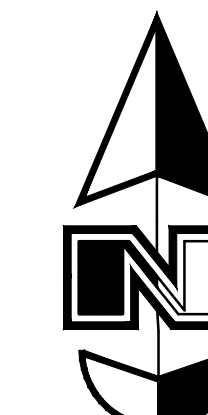
Customer: _____

PERFORMANCE TABLE - TIR PERFORMANCE PLATFORM - NO LENS - DELIVERED LUMENS																						
LED Catalog	Watts	Distribution	2700K					3000K					3500K					4000K				
			Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G
CPS30W18	30W	TYPE II*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	2748	92	1	0	1	2964	99	1	0	1	2984	99	1	0	1	3082	103	1	0	1
		TYPE IV*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE V	2718	91	1	0	1	2931	98	1	0	1	2951	98	1	0	1	3048	102	1	0	1
CPS39W18	39W	TYPE II*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	3573	92	1	0	1	3854	99	1	0	1	3879	99	1	0	1	4007	103	1	0	1
		TYPE IV*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE V	3533	91	1	0	1	3811	98	2	0	1	3836	98	2	0	1	3962	102	2	0	1
CPS46W18	46W	TYPE II*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	4214	92	1	0	1	4545	99	1	0	1	4576	99	1	0	1	4726	103	2	0	1
		TYPE IV*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE V	4167	91	2	0	1	4495	98	2	0	1	4525	98	2	0	1	4673	102	2	0	1

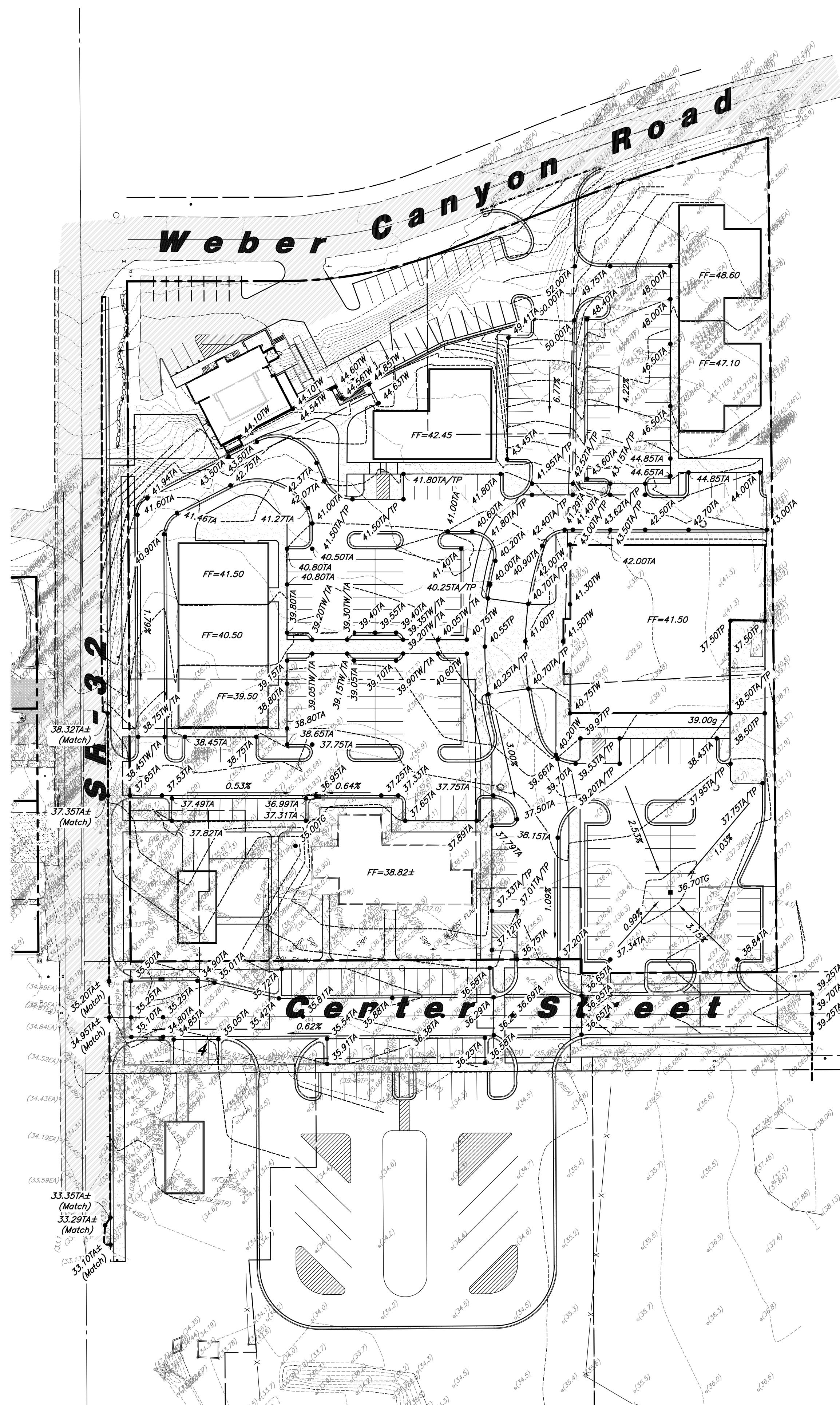
*TYPE II and TYPE IV available but not yet tested. Please Consult factory.

PERFORMANCE TABLE - EDGE-LIT LED SMALL - NO LENS - DELIVERED LUMENS																						
LED Catalog	Watts	Distribution	2700K					3000K					3500K					4000K				
			Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G
E030LDS	30W	TYPE II	3108	104	1	0	1	3018	101	1	0	1	3595	120	1	0	1	3271	109	1	0	1
		TYPE III	3201	107	1	0	1	3108	104	1	0	1	3702	123	1	0	1	3368	112	1	0	1
		TYPE IV	3265	109	1	0	1	3171	106	1	0	1	3776	126	1	0	1	3436	115	1	0	1
		TYPE V	2937	98	2	0	1	2852	95	2	0	1	3396	113	2	0	1	3090	103	2	0	1
E039LDS	39W	TYPE II	4041	104	2	0	2	3924	101	2	0	2	4673	120	2	0	2	4252	109	2	0	2
		TYPE III	4161	107	2	0	2	4041	104	2	0	2	4812	123	2	0	2	4379	112	2	0	2
		TYPE IV	4245	109	1	0	1	4122	106	1	0	1	4909	126	2	0	2	4466	115	2	0	2
		TYPE V	3818	98	2	0	1	3707	95	2	0	1	4415	113	2	0	1	4017	103	2	0	1
E050LDS	50W	TYPE II	5162	104	2	0	2	5013	101	2	0	2	5970	120	2	0	2	5432	109	2	0	2
		TYPE III	5335	107	2	0	2	5181	104	2	0	2	6170	123	2	0	2	5614	112	2	0	2
		TYPE IV	5442	109	2	0	2	5284	106	2	0	2	6293	126	2	0	2	5726	115	2	0	2
		TYPE V	4894	98	3	0	1	4753	95	3	0	1	5660	113	3	0	1	5150	103	3	0	1
E065LDS	65W	TYPE II	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	6936	107	2	0	2	6735	104	2	0	2	8021	123	2	0	2	7298	112	2	0	2
		TYPE IV	7075	109	2	0	2	6870	106	2	0	2	8181	126	2	0	2	7444	115	2	0	2
		TYPE V	6363	98	3	0	1	6179	95	3	0	1	7358	113	3	0	1	6695	103	3	0	1
E080LDS	80W	TYPE II	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	8467	107	3	0	2	8222	104	3	0	3	9792	123	3	0	3	8909	112	3	0	3
		TYPE IV	8635	109	3	0	3	8385	106	2	0	2	9986	126	3	0	3	9086	115	3	0	3
		TYPE V	7822	98	3	0	1	7596	95	3	0	1	9046	113	3	0	2	8230	103	3	0	2

*65W and 80W TYPE II not available.



Scale: 1" = 50'



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by GSH Geotechnical, Inc. are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Study, Proposed Oakley Town Center Near the Intersection of Highway 32 and Center Street; Oakley, Utah".
Project No.: 3709-001-23
Date: June 30, 2023
18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
- ① 2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
- ② 5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

Designed by:	EM
Drafted by:	DW
Client Name:	Client
Project No.:	23-080 gr



Concept Grading Plan
Oakley - City Center
 960 West Center Street
 Oakley, Utah

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