



Oakley City Planning Commission Staff Report

MASTER PLANNED DEVELOPMENT APPLICATION – City Center North ZONING AMENDMENT – OT-22, OT-25, OT-31 ZONING AMENDMENT – OT-117 Applicant: Steve Smith

To: Oakley City Planning Commission
From: Stephanie Woolstenhulme, City Planner
Date of Meeting: September 6, 2023
Type of Item: Preliminary Plat – Public Hearing
Process: Administrative Review

RECOMMENDATION: Staff recommends that the Planning Commission hold a public hearing and review the Master Planned Development application for City Center North and zoning amendment applications for OT-22, OT-25, OT-31, OT-117. This application has not been noticed on agenda as an actionable item, so only presentation and review of the application are permitted.

PROJECT DESCRIPTION

Project Name: Oakley Town Center MPD
Applicant(s): Steve Smith
Property Owner(s): Steve Smith and Oakley City
Parcel Number(s): MPD ~ 6.5 acres
OT-40-A
OT-40-B-X
OT-40-C-X
OT-55-A
OT-55
OT-41-X
OT-40-C-1
OT-71-A
OT-71-B
OT-33-X
OT-50-A-X
OT-50-X
OT-50-B-X
OT-45
OT-38-A-X
Zoning Amend #1 ~2.2 acres OT-25
OT-31
OT-22
Zoning Amend #2 ~ 2.13 acres OT-117
Zone District: VM – Village Mixed Use, CR-2 – Community Residential 2
Adjacent Land Uses: Residential/Agricultural, Commercial
Existing Uses: Residential/Commercial
Public Hearing: Public notice was given for a public hearing at this Planning

PROPOSAL:

The applicant wishes to obtain a recommendation to City Council for Master Planned Development – Oakley Town Center and zoning amendment for Two (2) locations from residential (CR-2) to commercial.

FINDINGS OF FACT

1. MPD
 - a. Located at approximately 570 W. Weber Canyon Road.
 - b. Located in the village mix use zone with applicable Oakley City Code 13-4-14
 - c. Applicant owns OT-40-A, OT-55, OT-55-A, OT-40-C-1, OT-71-A, OT-71-B, OT-45
2. Zoning amendment #1
 - a. Located at approximately 4867 N SR 32
 - b. Located in CR-2 zoning (2 primary dwellings per acre)
3. Zoning amendment #2
 - a. Located at 4685 N Millrace Road
 - b. Located in CR-2 zoning (2 primary dwellings per acre)
4. All locations have access to City utilities

SUMMARY OF REQUIREMENTS OF APPLICATION – MPD per Oakley City Code 13-5-10

1. Density
 - a. Commercial and office square footage = 45,762 sq ft
 - b. No proposed residential
2. Density Bonus
 - a. Not required as VM zone has no base density
3. Setbacks
 - a. Setbacks not set for VM zone.
 - b. Proposed exterior 5' eastern boundary, 10' exterior public rights-of-way.
 - c. Proposed interior setbacks 0'
 - i. City Attorney has concerns that setback be from overhang and not from wall
4. Building Height
 - a. Building height not set in VM zone. 13-5-10-E-4 states that may not exceed 45'.
 - i. 45' feet height is being requested to meet to the design element of desired buildings.
5. Reduction of Minimum Lot Size Requirements
 - a. Not applicable as no minimum lot size in the VM Zone.
6. Open Space
 - a. MPD code requires 10% open space requirement
 - i. Total open space = 37,113 sq ft = 15%
7. Off-Street Parking
 - a. Oakley City Code 13-5-10-E-7 requires 3 stalls per 1,000 sq ft. = 137 parking stalls
 - b. Proposed 227 parking stalls
 - c. Proposed temporary parking – 8 stalls- for RV's and/or truck with trailers on South parcel.
8. Topography
 - a. MPD incorporates existing topography
 - b. Storm water from site generally able to following existing natural drainage patterns
9. Designing with Adjacent Uses
 - a. City Hall will remain

- b. Incorporates current businesses, gas station and grocery store.
- 10. Access
 - a. City Center access – 3 ways – Weber Canyon Road, SR 32, Center Street
 - i. Site Plan shows 2 access via SR-32 pending UDOT approval
- 11. Utilities
 - a. Water and sewer available and sufficient
- 12. Building Locations
 - a. See site plan for building locations as well as phase plan
 - b. Grocery store and site improvements = phase 1
- 13. Connectivity
 - a. Sidewalks utilized throughout but are proposed to connect to surrounding neighborhoods and along highway 32
- 14. Snow Storage
 - a. Utilizing open/green space
 - b. Designated overflow snow storage on site plan
- 15. Outdoor Lighting
 - a. All proposed lighting meets Oakley City Dark Sky code in regards to light temp (kelvin,) lumen output per lamp, pole height, and total lumen output per acre allotment.

CITY ENGINEER COMMENTS – none to date

ITEMS OF CONSIDERATION/DISCUSSION

1. Internal setbacks – 0' setback needs to be from overhang, not from wall.
2. Conditional Use permits with appropriate public hearings will be held after approval of zoning amendments.
3. Discussion regarding lighting plan. Pole setbacks from property lines. Total lumen output per acre (total lumen value below code requirement now, but expected signage lighting?)

ATTACHMENTS TO THIS REPORT AS FOUND IN APPLICATION

See application for:

- Site phase plan
- Concept Site Plan
- Design Elements
- Adjacent Uses Map
- Lighting plan and specs
- Concept Utility Plan
- Concept Grading Plan

SUMMARY OF ZONE AMENDMENT #1 – OT-22, OT-25, OT-31

- Residential (CR-2) to Commercial zoning
- Current use: residential
- Current adjacent uses: residential and commercial
- Proposed use: Gas service station with car wash and convenience store. See attached concept design.
 - Will require a Conditional Use Permits for gas station with convenience store AND auto repair with appropriate public hearing per Oakley City Code 13-4-19
 - Gas station specific lighting would need to comply with Dark Sky code
- Oakley City Code 13-8-3-B-1-c
 - Approval of an amendment to the zone district map shall not be granted until both the Planning Commission and City Council have reviewed the

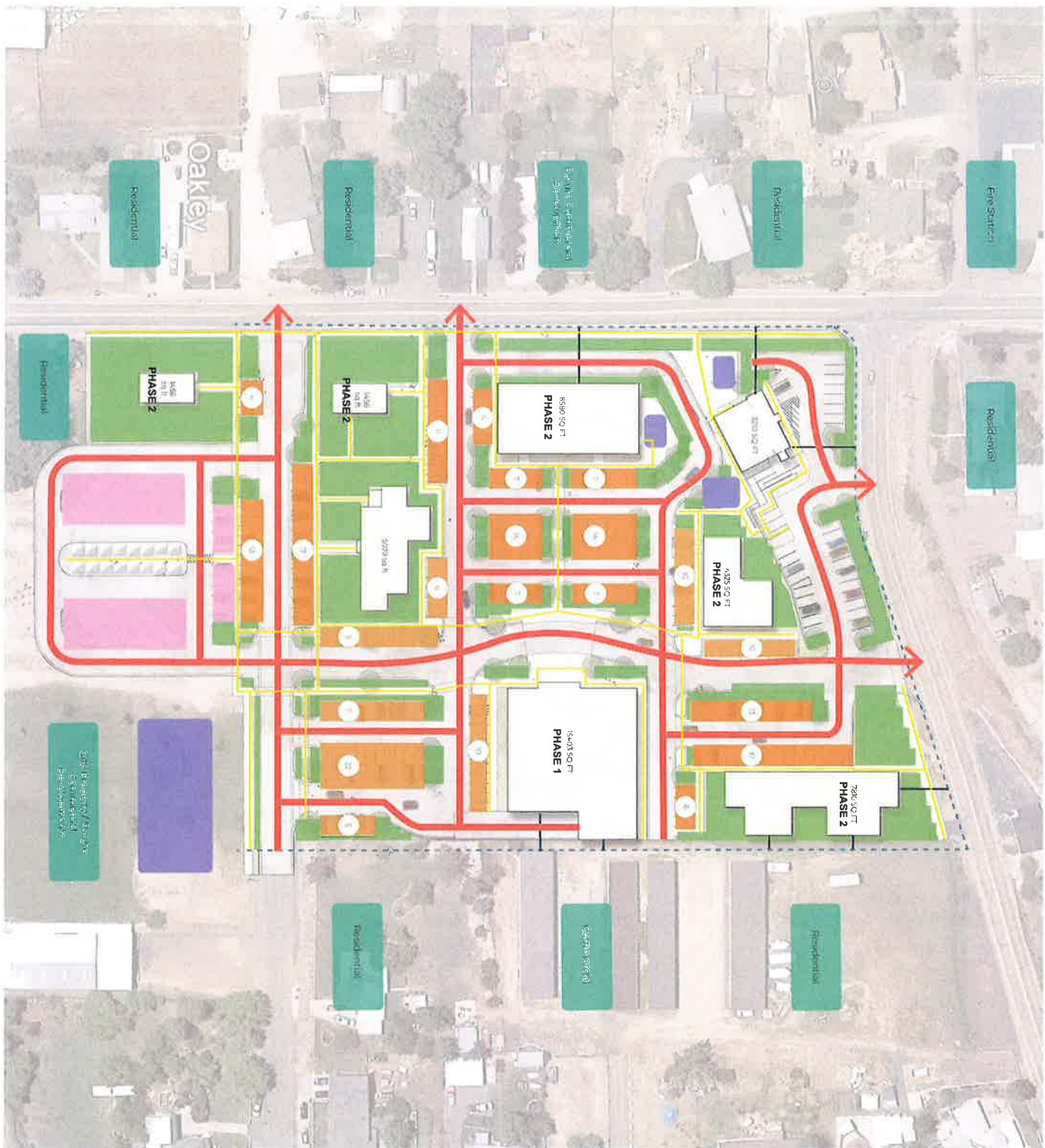
specific development proposal, have each held a public hearing, and determined:

- The amendment is generally consistent with the goals of the General Plan;
- The amendment is compatible with adjacent land uses and will not be overly burdensome on the local community;
- The specific development plan is in compliance with all applicable standards and criteria for approval as described in chapter 5 of this Title; and
- The amendment does not adversely affect the public health, safety and general welfare.

SUMMARY OF ZONE AMENDMENT #2 – OT-117

- Residential (CR-2) to Commercial zoning
- Current use: residential
- Current adjacent uses: residential
- Proposed use: restaurant with event center space for weddings and gatherings
 - Will require a Conditional Use Permit for event center with appropriate public hearing per Oakley City Code 13-4-19
 - Restaurant is an allowed use in commercial zoning.
- Oakley City Code 13-8-3-B-1-c
 - Approval of an amendment to the zone district map shall not be granted until both the Planning Commission and City Council have reviewed the specific development proposal, have each held a public hearing, and determined:
 - The amendment is generally consistent with the goals of the General Plan;
 - The amendment is compatible with adjacent land uses and will not be overly burdensome on the local community;
 - The specific development plan is in compliance with all applicable standards and criteria for approval as described in chapter 5 of this Title; and
 - The amendment does not adversely affect the public health, safety and general welfare.

The Planning Commission is empowered to require additional and reasonable improvements to mitigate any detrimental effects to surrounding property and residents and to safeguard the general welfare of the future inhabitants of the subdivision.

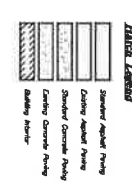
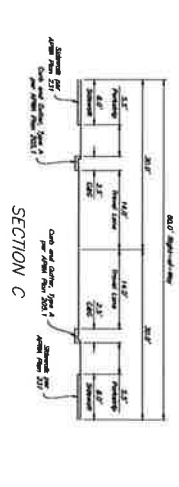
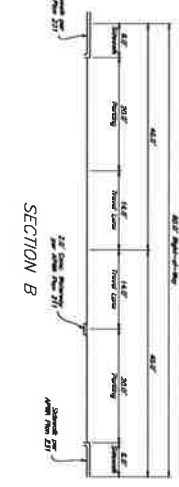
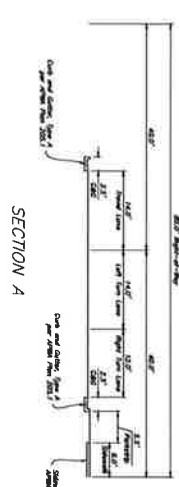
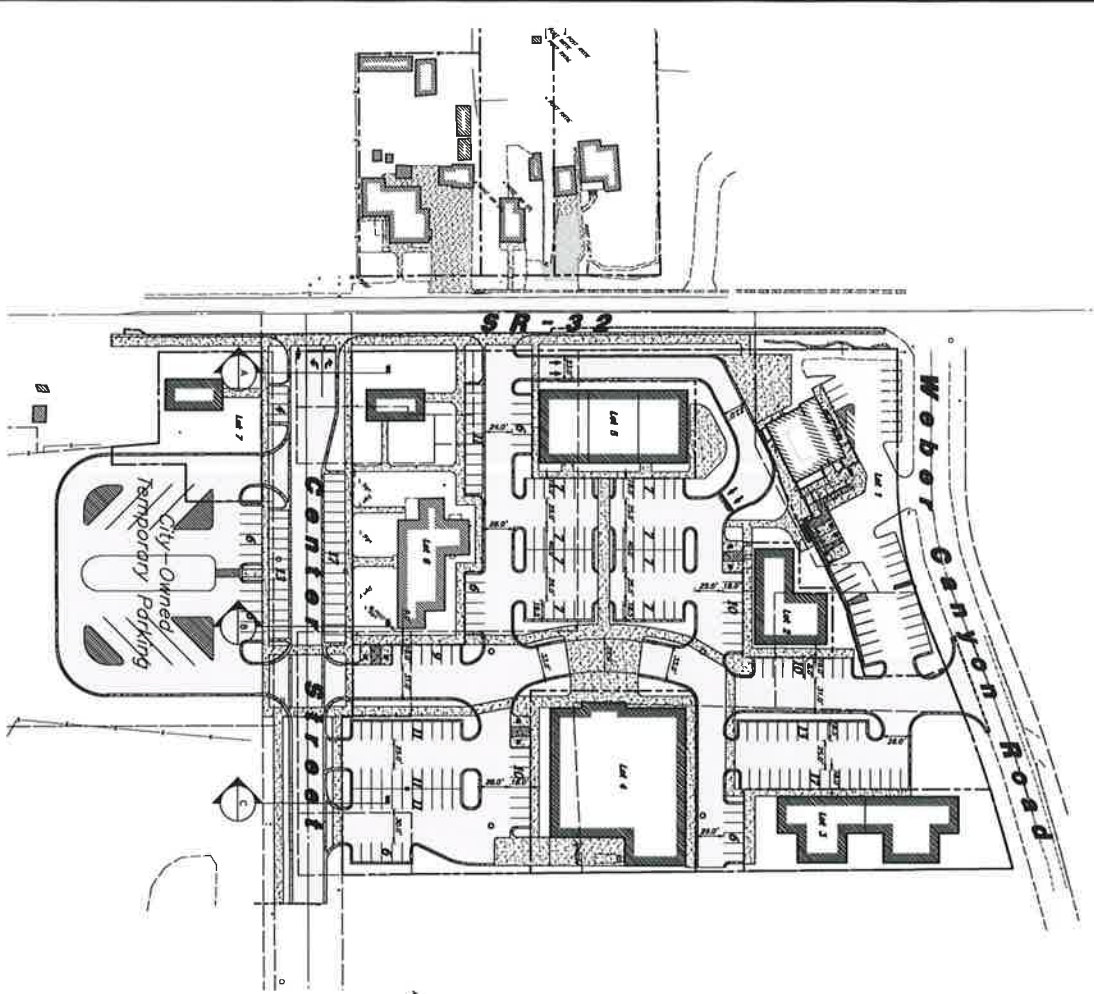


- Parking, 227 stalls
- Temporary public parking, 25 temporary stalls / 10 trailer stalls
- Vehicular circulation
- Pedestrian circulation
- Property line
- Potential new storage
- Adjacent property
- Open space, landscape, 27,113 sq ft (15,456 of this)
- 45,762 Total building sq ft
- Building setback

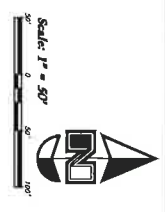
PHASE 1
 Phase 1 includes the Storey 2000, overall site plan, overall vehicular and pedestrian circulation, parking, and open space

PHASE 2
 The timing and build out of Phase 2 is still related for design is still dependent upon market conditions





Site Data
 Site Area = 244,003 sq. ft. (5,533 ac.)
 Landscape Area Provided = 51,424 sq. ft. (1.17 ac.)
 Impervious Area Provided = 143,806 sq. ft. (3.27 ac.)
 Building Area = 45,773 sq. ft. (1.04 ac.)
 Parking Required = 1/2 sq. ft. = x stalls
 On-site Parking = 209 stalls (x2,000)
 Off-site Parking = 46 stalls
 Total Parking = 255 stalls

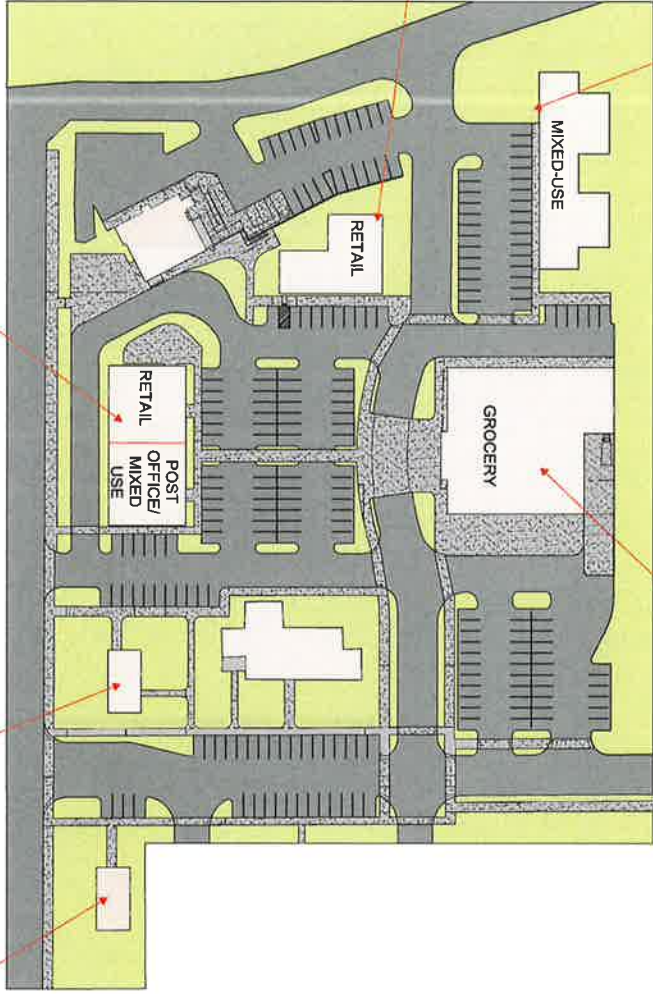


General Site Notes:

1. All dimensions are in feet unless otherwise noted.
2. All elevations are in feet unless otherwise noted.
3. All areas are to be finished to the existing ground level unless otherwise noted.
4. All areas are to be finished to the existing ground level unless otherwise noted.
5. All areas are to be finished to the existing ground level unless otherwise noted.
6. All areas are to be finished to the existing ground level unless otherwise noted.

Construction Sequence Notes:

The construction sequence shall be as follows: 1. Clearing and grubbing; 2. Earth retaining walls; 3. Foundation and footings; 4. Structural steel; 5. Concrete slab; 6. Mechanical, electrical, and plumbing; 7. Interior finishes; 8. Exterior finishes; 9. Landscaping; 10. Final grading and paving.

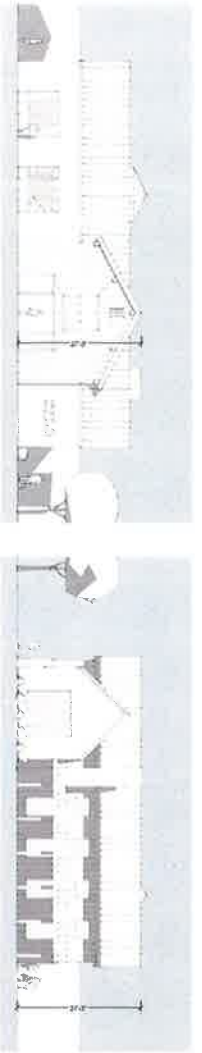


- Design Elements**
- Water tower
 - Wood sloped roof
 - Earth tones
 - Flat/low roof
 - Rock
 - Stone
 - Wood
 - Active community vibe
 - Stepped roof line
 - Modern barn
 - Main Street aesthetic

OAKLEY
 Enter address here
 STENA
 CONCEPT GATHERING - 07.19.23

FFKR ARCHITECTS
 730 Pacific Avenue • Salt Lake City, Utah 84104
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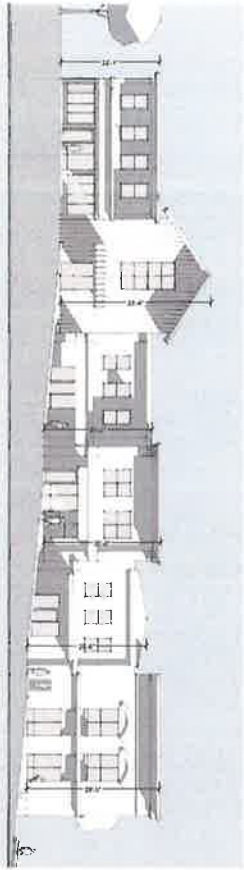
CONCEPT
 DESIGN



BARN RETAIL ELEVATION



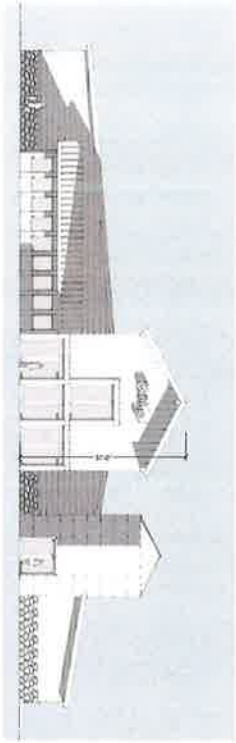
Weathered timber and board-form concrete combined to create a modern expression of a rustic agricultural history and barn aesthetic.



MAIN STREET ELEVATION



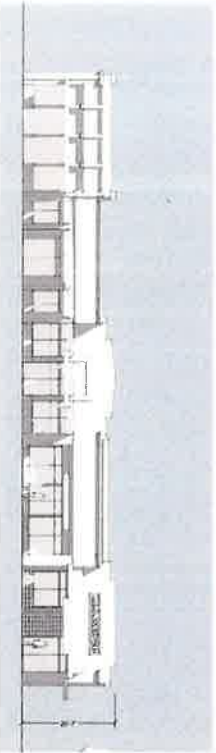
The combination of brick and timber planks creates a captivating main street design with a historical and traditional aesthetic.



GROCERY ELEVATION



Weathered timber and rustic stone are used to evoke the agricultural heritage of Oakley, particularly it's iconic barns and silos.



RETAIL ELEVATION

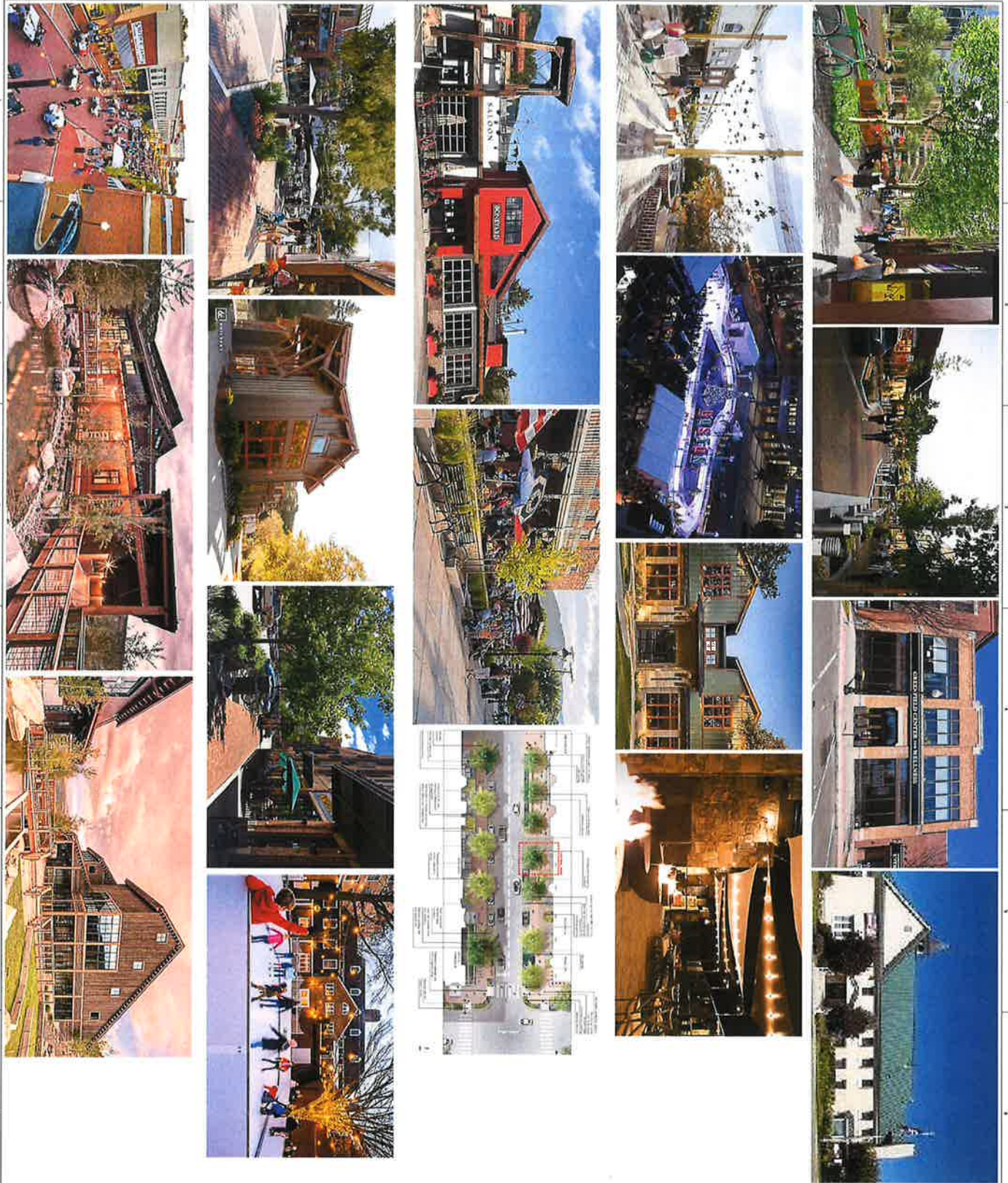


Traditional and contemporary brick and rustic stone are used to honor the historical architectural past.

OAKLEY
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CONCEPT GATHERING - 07.19.23

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730 Pacific Avenue • Salt Lake City, Utah 84104
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CONCEPT
DESIGN

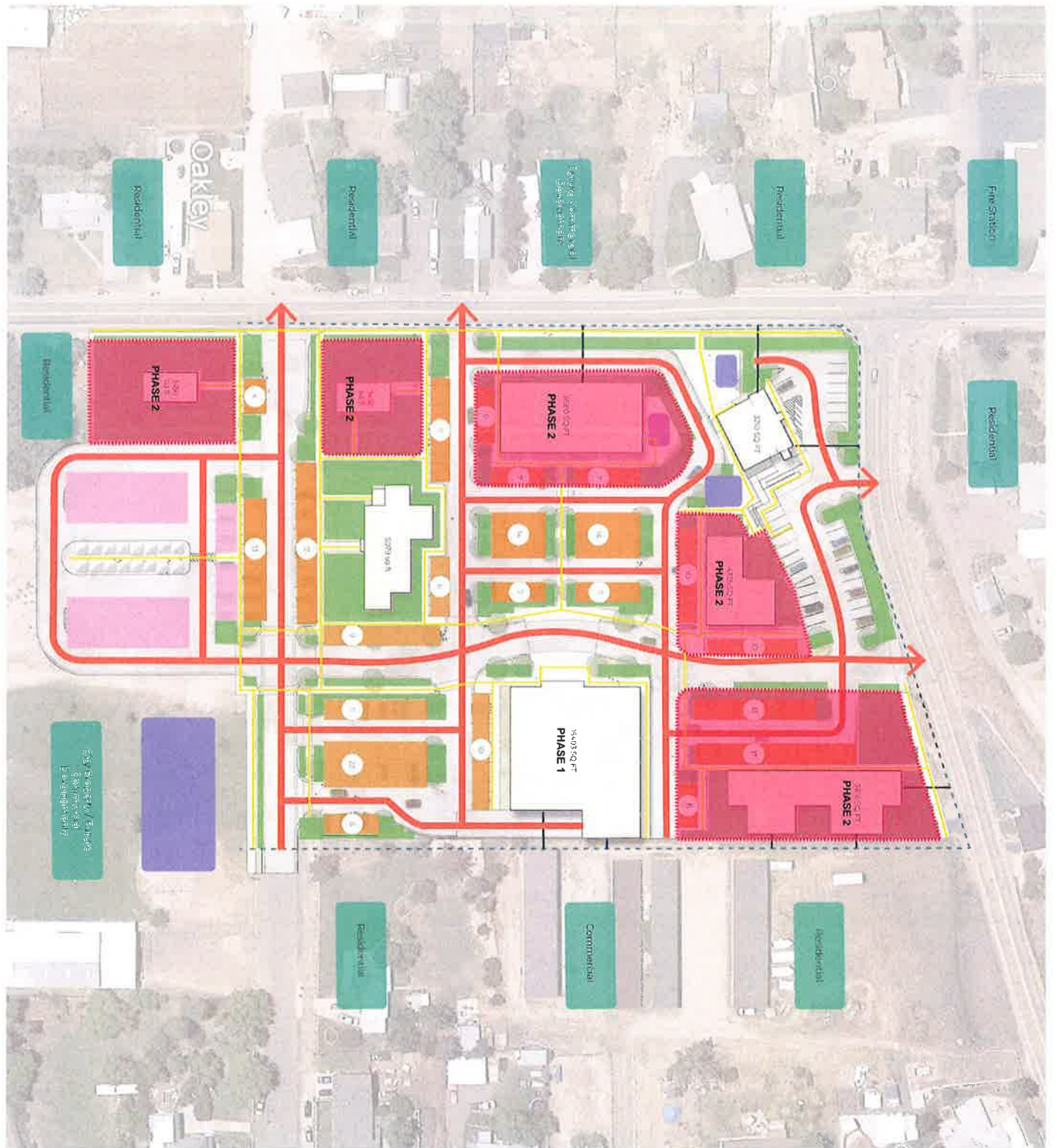




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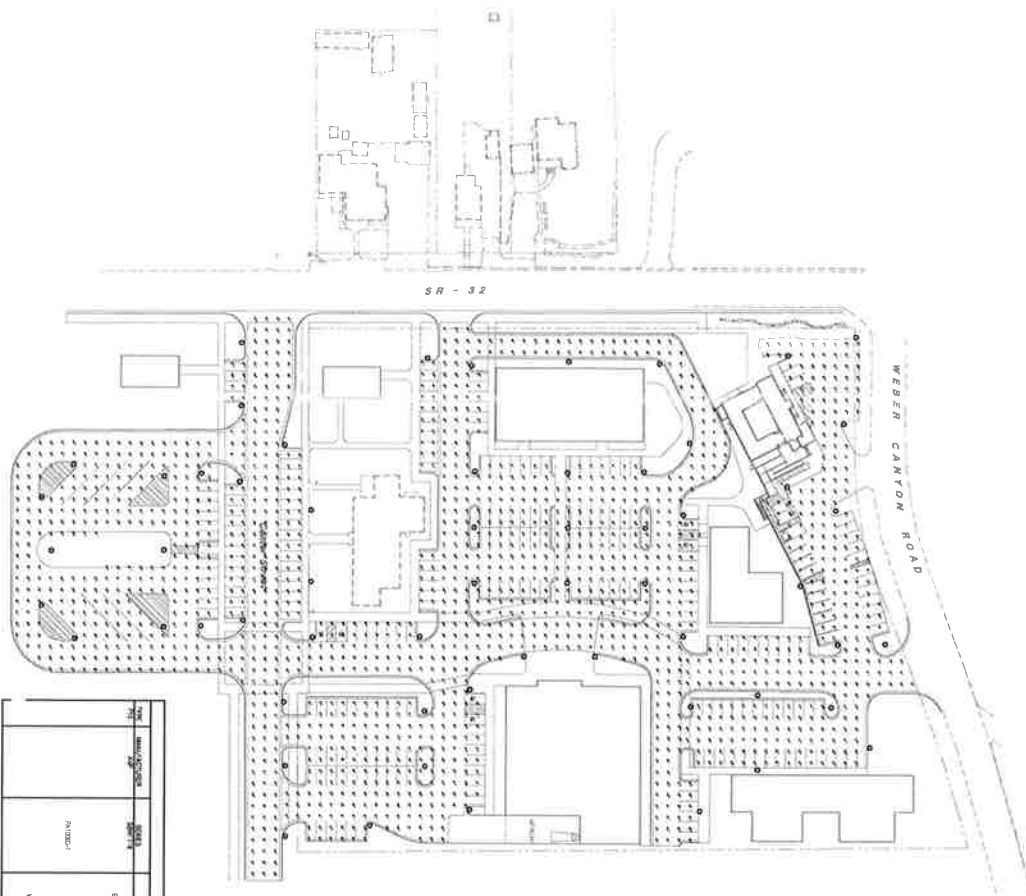
CONCEPT
IMAGES



- Parking 229 stalls
- Temporary open parking
- Vehicular circulation
- Pedestrian circulation
- Property line
- Potential snow storage
- Adjacent property
- Open space - landscaped 37113 sq ft (15.4% of site)
- 45/752 Total building sq ft
- Building setback

PHASE 1
 Phase 1 includes the new 16,003 sq ft building, 5,079 sq ft building, and 2,500 sq ft building. It also includes vehicular and pedestrian circulation, parking, and open space.

PHASE 2
 The timing and build out of Phase 2 buildings and related lot design is dependent upon market conditions.



SITE ILLUMINATION PLAN

NO.	DESCRIPTION	SIZE	WATTAGE	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS
1	4'x4' RECESSED SQUARE DOWN LIGHTS	4'x4'	100 WATT	10'	10'	10'	10'	10'	10'	10'
2	4'x6' RECESSED RECTANGLE DOWN LIGHTS	4'x6'	150 WATT	15'	15'	15'	15'	15'	15'	15'
3	4'x8' RECESSED RECTANGLE DOWN LIGHTS	4'x8'	200 WATT	20'	20'	20'	20'	20'	20'	20'

NOTE: LIGHT FIXTURES TO BE PLACED AT THE CORNERS OF EACH LIGHTING ZONE.

DESCRIPTION	FOOT COUNDS	WATTAGE	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS	FOOT COUNDS
4'x4' RECESSED SQUARE DOWN LIGHTS	10'	100 WATT	10'	10'	10'	10'
4'x6' RECESSED RECTANGLE DOWN LIGHTS	15'	150 WATT	15'	15'	15'	15'
4'x8' RECESSED RECTANGLE DOWN LIGHTS	20'	200 WATT	20'	20'	20'	20'

SITE ILLUMINATION PLAN

NO.	DATE	REVISIONS
1	08/23/22	ISSUED FOR PERMIT
2	09/07/23	REVISED PER COMMENTS

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DATE: 09/07/23

OAKLEY - CITY CENTER
 960 WEST CENTER STREET
 OAKLEY, UTAH

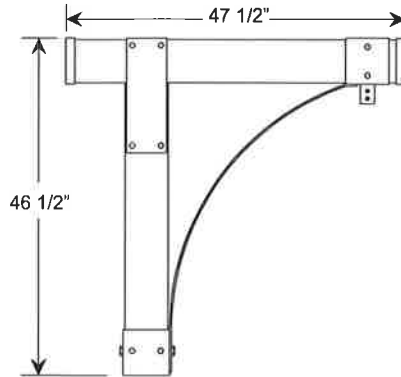
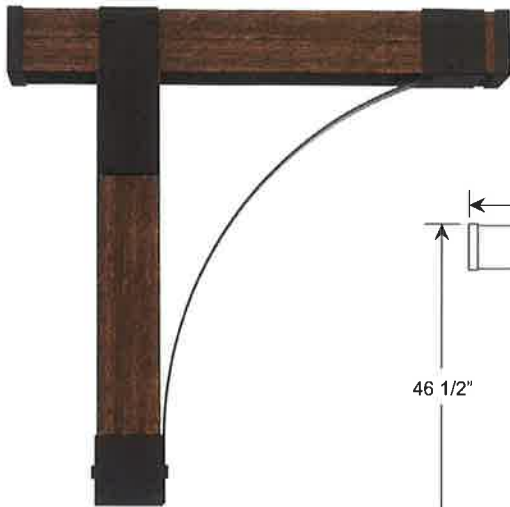
ENVISION
 CIVIL ENGINEERING
 155 WEST CENTER STREET, SUITE 200
 OAKLEY, UTAH 84643
 P: 435.338.3111
 E: INFO@ENVISION.COM
 WWW.ENVISION.COM

ES101

Project: **Oakley City Center Lighting**

Fixture Type: **P15** Quantity: _____

Customer: _____



Specifications

General:
Due to size or weight, arms mounts may not accommodate all ANP luminaires.

Material:
All parts are high strength extruded aluminum .188 wall thickness.

All hardware provided shall be stainless steel or zinc plated steel.

Fixture Mounting:
Dual clevis pin to male coupling.

Post Arm Mounting:
Slip tenon to accommodate 6" square pole.

Pole section of arm matches pole diameter and style.

Electrical:
Pull wire provided.

Finish:
Sequoia wood grain powder coat finish is skillfully hand streaked with black paint to mimic textured wood. #72 Matte Black paint finish is standard for decorative scroll and aluminum banding.

Modifications:
Consult factory for custom or modified designs.

PA10003-1

1 Lt Post Arm for Pendant Fixture

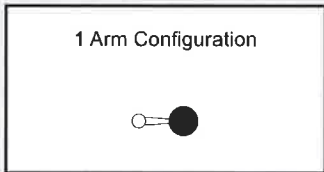
Weight: 38 lbs

EPA: 3.99

Catalog Logic



Catalog Number



1 POST ARM ORIENTATION
3 Pendant

2 NUMBER OF ARMS
1 One Arm Configuration

3 CENTER MOUNT OPTIONS
N/A

4 POLE DIMENSIONS
6 6" X 6" Square

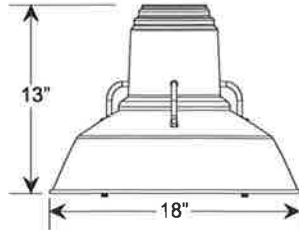
5 POLE STYLE
S Smooth

6 FINISHES

Sequoia	99
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Consult Factory for additional paint charges and availability.





Project Name: Oakley City Center Lighting
 Fixture Type: P15 Quantity: _____
 Customer: _____

Specifications

Material:
 Spun housing is 12 gauge (0.080") 1100 series aluminum. Other parts are A356 cast aluminum. Hardware is stainless steel or zinc-plated steel.

Lens:
 EVONIK ACRYLITE® Satinice, 92% Light Transmission, reduces pixilation and glare (for TIR LED only)

Fixture Mounting:
 Pendant Mount: Hangs from tenon with Dual Clevis Pins.

Drivers:
 Universal Voltage 120-277V is standard. 0-10V dimming is standard. (Refer to Driver Specification section for other specifications.)

Dark Sky Friendly:
 To maintain dark sky friendly compatibility: ≤ 3000K

Electrical:
 A lightning surge protective device is standard (20KA³ Max/10KA² Nominal). Approximately 12" of pull wire extends from luminaire. All luminaires are prewired with 0-10V dimming leads. Additional pull wire provided for post mount arms and wall mounts.

Finish:
 A polyester powder coat high quality finish. Marine grade finish is available.

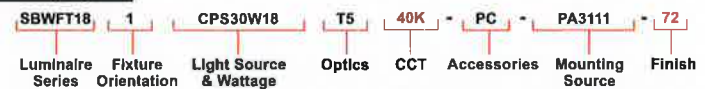
Modifications:
 Consult factory for custom or modified designs.

Buy American:
 This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. [Click here for additional information.](#)

SBWFT18

EPA: 0.73
 Weight: 13 lbs.

Catalog Logic



1 FIXTURE ORIENTATION
 3 (Pendant)

2 LIGHT SOURCE & WATTAGES
TIR Performance Platform
 CPS30W18 (30W TIR Performance Platform)
 CPS39W18 (39W TIR Performance Platform, CA Title 24)
 CPS46W18 (46W TIR Performance Platform)
 *Includes drop-down diffuse lens.

Edge-Lit LED Small*
 E030LDS (30W Small Edge-Lit LED Comfort Solution)
 E039LDS (39W Small Edge-Lit LED Comfort Solution, CA Title 24)
 E050LDS (50W Small Edge-Lit LED Comfort Solution)
 E065LDS (65W Small Edge-Lit LED Comfort Solution)
 E080LDS (80W Small Edge-Lit LED Comfort Solution)
 *See LED Performance Charts for distribution type compatibility.

3 OPTICS
 T2 (Type II)
 T3 (Type III)
 T4 (Type IV)
 T5 (Type V)

4 CCT (COLOR TEMPERATURE)
 27K (2700K)
 30K (3000K)
 35K (3500K)
 40K (4000K)
 50K (5000K) Consult Factory

5 ACCESSORIES
 HSS90 (90° House Side Shield)
 HSS120 (120° House Side Shield)
 EMG-LED10 (10W LED Emergency Driver)
 EMG-LED20 (20W LED Emergency Driver, for all Light Sources & Wattages)
 EMG-LED30 (30W LED Emergency Driver)
 HLMSPC-06 (On-off Motion Sensor/Photocell; 15' - 30' Sensor Mounting Height)
 HLMSPC-10 (On-off Motion Sensor/Photocell; 8' - 15' Sensor Mounting Height)
 PC (Button Photo Cell)
 TLPC (ANSI C136.41 Twist Lock Photocell, includes receptacle and 120-277V photo cell)
 TL5 (ANSI C136.41 5-Pin Twist Lock Receptacle only)
 TL7 (ANSI C136.41 7-Pin Twist Lock Receptacle only)

Most EM Packs are remote mount only (consult factory). 10W & 30W EMG's are not compatible with all LED Light Source and Wattages. For compatibility and for percent lumens in emergency mode, see Technical Section at www.ANPlighting.com.

6 MOUNTING SOURCE
 Custom Pole and Arm Assembly together

7 FINISHES
 *Premium end Marine Grade Finish have additional charges

Standard Color	Standard Grade	Marine Grade	Standard Color	Standard Grade	Marine Grade
Aspen Green	10	10M	Copper Clay	53	53M
Cantaloupe	11	11M	Silver	56	56M
Lilac	12	12M	Black Verde	61	61M
Black	41	41M	Painted Chrome	70	70M
Forest Green	42	42M	Painted Copper	71	71M
Bright Red	43	43M	Textured Black	72	72M
White	44	44M	Matte Black	73	73M
Bright Blue	45	45M	Textured Architectural Bronze	76	76M
Sunny Yellow	46	46M	Textured White	77	77M
Aqua Green	47	47M	Textured Silver	78	78M
Galvanized	49	NA	PREMIUM FINISH	Premium Grade*	Marine Grade*
Navy	50	50M	Textured Desert Stone	80	80M
Architectural Bronze	51	51M	Graystone	82	82M
Patina Verde	52	52M	Oil Rubbed Bronze	83	83M
			Carbon Graphite	96	96M

Consult Factory for additional custom RAL color.



Project Name: _____

Fixture Type: _____ Quantity: _____

Customer: _____

PERFORMANCE TABLE - TIR PERFORMANCE PLATFORM - NO LENS - DELIVERED LUMENS

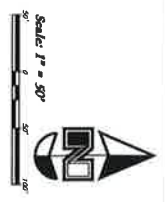
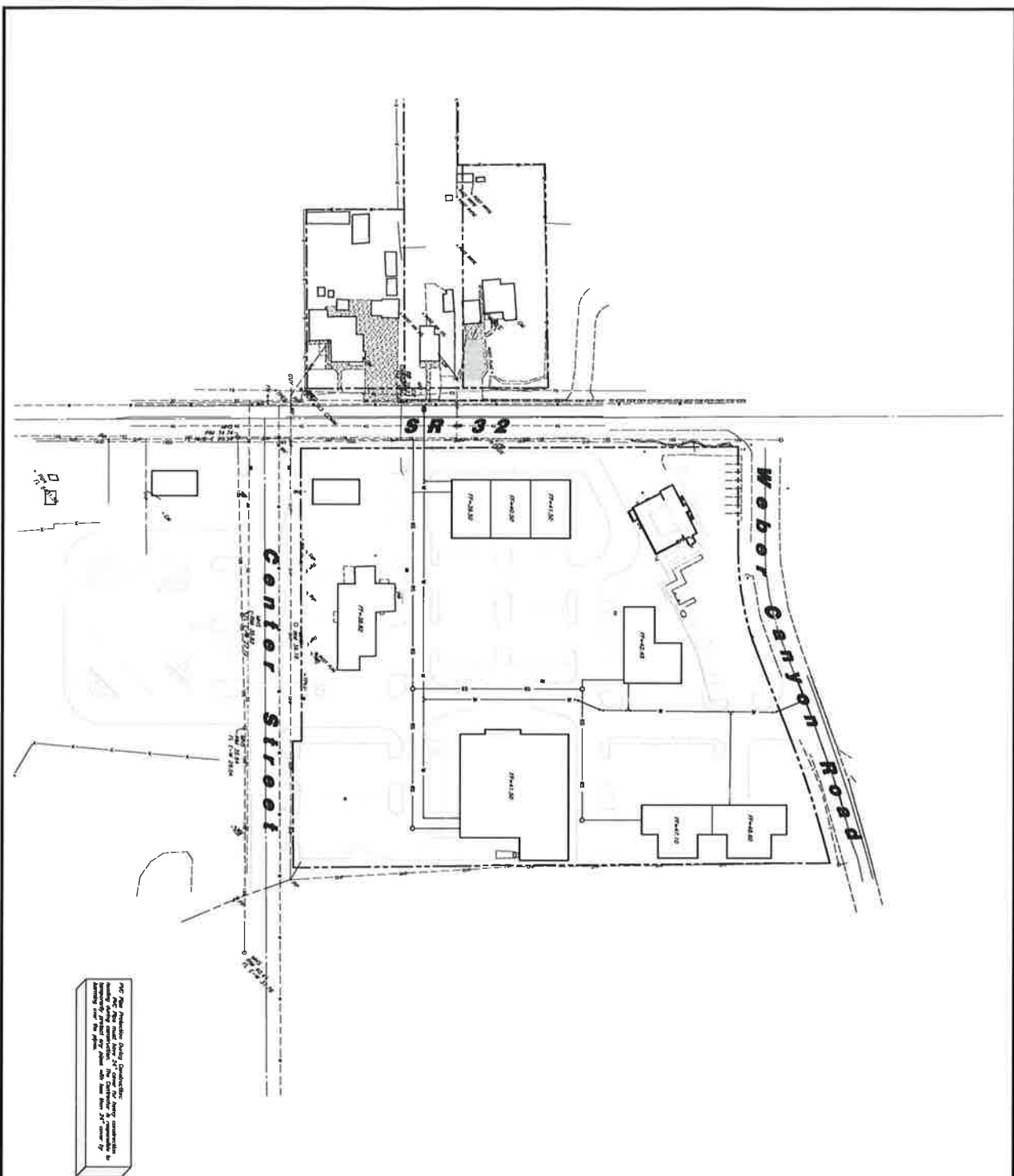
LED Catalog	Watts	Distribution	2700K				3000K				3500K				4000K							
			Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G
CPS30W18	30W	TYPE II*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	2748	92	1	0	1	2964	99	1	0	1	2984	99	1	0	1	3082	103	1	0	1
		TYPE IV*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE V	2718	91	1	0	1	2931	98	1	0	1	2951	98	1	0	1	3048	102	1	0	1
CPS39W18	39W	TYPE II*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	3573	92	1	0	1	3854	99	1	0	1	3879	99	1	0	1	4007	103	1	0	1
		TYPE IV*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE V	3533	91	1	0	1	3811	98	2	0	1	3836	98	2	0	1	3962	102	2	0	1
CPS46W18	46W	TYPE II*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	4214	92	1	0	1	4545	99	1	0	1	4576	99	1	0	1	4726	103	2	0	1
		TYPE IV*	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE V	4167	91	2	0	1	4495	98	2	0	1	4525	98	2	0	1	4673	102	2	0	1

*TYPE II and TYPE IV available but not yet tested. Please Consult factory.

PERFORMANCE TABLE - EDGE-LIT LED SMALL - NO LENS - DELIVERED LUMENS

LED Catalog	Watts	Distribution	2700K				3000K				3500K				4000K							
			Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G	Delivered Lumens	lm/W	B	U	G
E030LDS	30W	TYPE II	3108	104	1	0	1	3018	101	1	0	1	3595	120	1	0	1	3271	109	1	0	1
		TYPE III	3201	107	1	0	1	3108	104	1	0	1	3702	123	1	0	1	3368	112	1	0	1
		TYPE IV	3265	109	1	0	1	3171	106	1	0	1	3776	126	1	0	1	3436	115	1	0	1
		TYPE V	2937	98	2	0	1	2852	95	2	0	1	3396	113	2	0	1	3090	103	2	0	1
E039LDS	39W	TYPE II	4041	104	2	0	2	3924	101	2	0	2	4673	120	2	0	2	4252	109	2	0	2
		TYPE III	4161	107	2	0	2	4041	104	2	0	2	4812	123	2	0	2	4379	112	2	0	2
		TYPE IV	4245	109	1	0	1	4122	106	1	0	1	4909	126	2	0	2	4466	115	2	0	2
		TYPE V	3818	98	2	0	1	3707	95	2	0	1	4415	113	2	0	1	4017	103	2	0	1
E050LDS	50W	TYPE II	5162	104	2	0	2	5013	101	2	0	2	5970	120	2	0	2	5432	109	2	0	2
		TYPE III	5335	107	2	0	2	5181	104	2	0	2	6170	123	2	0	2	5614	112	2	0	2
		TYPE IV	5442	109	2	0	2	5284	106	2	0	2	6293	126	2	0	2	5726	115	2	0	2
		TYPE V	4894	98	3	0	1	4753	95	3	0	1	5660	113	3	0	1	5150	103	3	0	1
E065LDS	65W	TYPE II	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	6936	107	2	0	2	6735	104	2	0	2	8021	123	2	0	2	7298	112	2	0	2
		TYPE IV	7075	109	2	0	2	6870	106	2	0	2	8181	126	2	0	2	7444	115	2	0	2
		TYPE V	6363	98	3	0	1	6179	95	3	0	1	7358	113	3	0	1	6695	103	3	0	1
E080LDS	80W	TYPE II	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
		TYPE III	8467	107	3	0	2	8222	104	3	0	3	9792	123	3	0	3	8909	112	3	0	3
		TYPE IV	8635	109	3	0	3	8385	106	2	0	2	9986	126	3	0	3	9086	115	3	0	3
		TYPE V	7822	98	3	0	1	7596	95	3	0	1	9046	113	3	0	2	8230	103	3	0	2

*65W and 80W TYPE II not available.



General Utility Notes

1. All water and sewer utilities shall be constructed per local jurisdiction standards and specifications. Contractor's responsibility to obtain all necessary permits and approvals from local jurisdiction.
2. Contractor at utility construction is liability with authority plans and utility construction.
3. All utility lines shall be installed in accordance with local jurisdiction standards and specifications. Contractor's responsibility to obtain all necessary permits and approvals from local jurisdiction.
4. All utility lines shall be installed in accordance with local jurisdiction standards and specifications. Contractor's responsibility to obtain all necessary permits and approvals from local jurisdiction.
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9. All utility lines shall be installed in accordance with local jurisdiction standards and specifications. Contractor's responsibility to obtain all necessary permits and approvals from local jurisdiction.
10. All utility lines shall be installed in accordance with local jurisdiction standards and specifications. Contractor's responsibility to obtain all necessary permits and approvals from local jurisdiction.

Utility Detail Materials

1. Polypropylene (PP) Pipe (16 to 24 inches diameter), 4000 PSI, 100' length (300' total)
2. 24" x 24" x 12" concrete manhole (12 manholes)
3. 18" x 18" x 12" concrete manhole (12 manholes)
4. 12" x 12" x 12" concrete manhole (12 manholes)
5. 6" x 6" x 12" concrete manhole (12 manholes)
6. 4" x 4" x 12" concrete manhole (12 manholes)
7. 3" x 3" x 12" concrete manhole (12 manholes)
8. 2" x 2" x 12" concrete manhole (12 manholes)
9. 1" x 1" x 12" concrete manhole (12 manholes)
10. 1/2" x 1/2" x 12" concrete manhole (12 manholes)

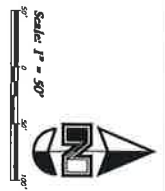
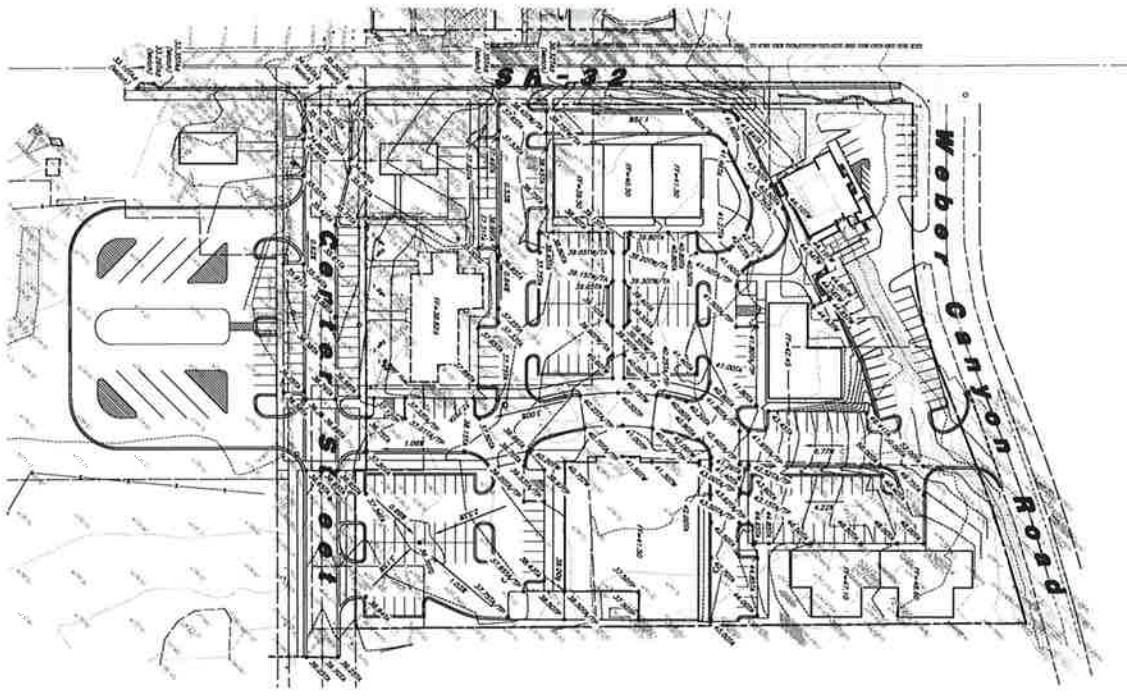
CONTRACTOR:
The contractor shall be responsible for obtaining all necessary permits and approvals from local jurisdiction. The contractor shall be responsible for obtaining all necessary permits and approvals from local jurisdiction. The contractor shall be responsible for obtaining all necessary permits and approvals from local jurisdiction.

Storm Drain & Sanitary Sewer Note:
All Storm Drainage & Sanitary Sewer Pipe lengths and slopes are from Center of Structure to Center of Structure

Utility Construction Note:
1. Contractor shall provide all utility construction materials and labor.
2. Contractor shall provide all utility construction materials and labor.
3. Contractor shall provide all utility construction materials and labor.

For the Professional Utility Construction, the Contractor's responsibility is to provide all utility construction materials and labor. The Contractor's responsibility is to provide all utility construction materials and labor. The Contractor's responsibility is to provide all utility construction materials and labor.





General Grading Notes:

1. All grading shall be in accordance with the project geotechnical report.
2. All grading shall be in accordance with the project geotechnical report.
3. All grading shall be in accordance with the project geotechnical report.
4. All grading shall be in accordance with the project geotechnical report.
5. All grading shall be in accordance with the project geotechnical report.
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13. All grading shall be in accordance with the project geotechnical report.
14. All grading shall be in accordance with the project geotechnical report.
15. All grading shall be in accordance with the project geotechnical report.
16. All grading shall be in accordance with the project geotechnical report.
17. All grading shall be in accordance with the project geotechnical report.
18. All grading shall be in accordance with the project geotechnical report.
19. All grading shall be in accordance with the project geotechnical report.
20. All grading shall be in accordance with the project geotechnical report.

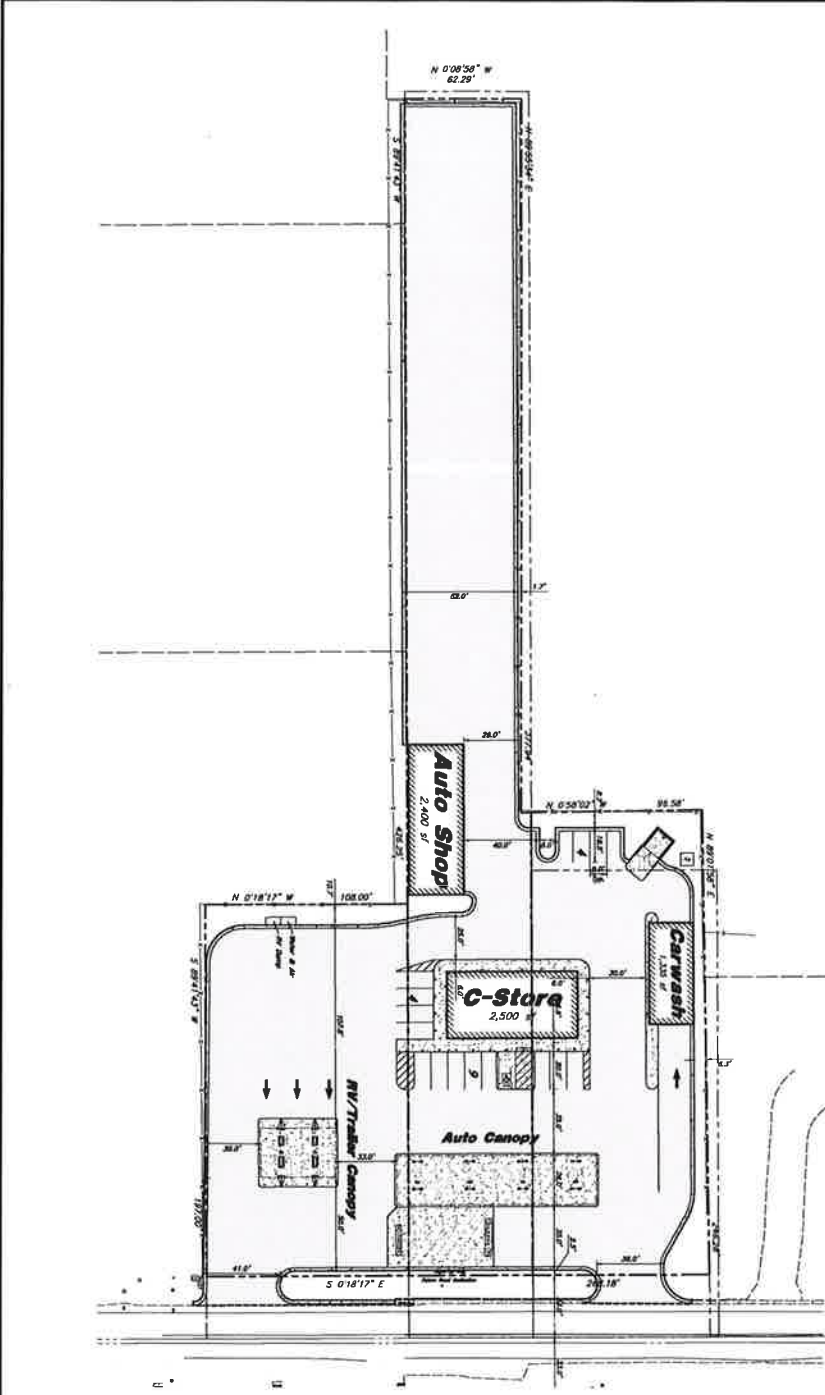
Clear and Gravel Construction Notes:

1. Clear and gravel shall be constructed in accordance with the project geotechnical report.
2. Clear and gravel shall be constructed in accordance with the project geotechnical report.
3. Clear and gravel shall be constructed in accordance with the project geotechnical report.
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8. Clear and gravel shall be constructed in accordance with the project geotechnical report.
9. Clear and gravel shall be constructed in accordance with the project geotechnical report.
10. Clear and gravel shall be constructed in accordance with the project geotechnical report.

Sidewalk Construction Notes:

1. Sidewalk construction shall be in accordance with the project geotechnical report.
2. Sidewalk construction shall be in accordance with the project geotechnical report.
3. Sidewalk construction shall be in accordance with the project geotechnical report.
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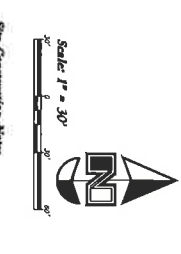
<p>Concept Grading Plan Oakley - City Center 950 West Center Street Oakley, Utah</p>	<p>2010 North Redwood Road, Salt Lake City, Utah 84116 (801) 521-8329 - AWNAengineering.net</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%; text-align: center;">DATE</td> <td style="width: 10%; text-align: center;">DRAWN</td> <td style="width: 10%; text-align: center;">CHECKED</td> <td style="width: 10%; text-align: center;">APPROVED</td> <td style="width: 50%;">DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	DRAWN	CHECKED	APPROVED	DESCRIPTION					
DATE	DRAWN	CHECKED	APPROVED	DESCRIPTION								
<p>07 July, 2023</p> <p style="font-size: 24pt; font-weight: bold;">C2.1</p>	<p style="font-size: 10pt;">Project No. 2307-2012-J</p>											



Site Data

Site Area = $x \times y$ sq. ft. (sq. ac.)
 Landscape Area Provided = $x \times y$ sq. ft. (sq. ac.)
 Impermeable Area Provided = $x \times y$ sq. ft. (sq. ac.)
 Building Area = $x \times y$ sq. ft. (sq. ac.)
 Parking Required = $x \times y$ sq. ft. (sq. ac.)
 Parking Provided = $x \times y$ sq. ft. (sq. ac.)

- Material Legend**
- Concrete
 - Asphalt
 - Gravel
 - Grass
 - Other



Site Construction Notes

1. Check 3" x 6" x 12" concrete...
2. Check 4" x 8" x 16" concrete...
3. Check 6" x 12" x 24" concrete...
4. Check 8" x 16" x 32" concrete...
5. Check 10" x 20" x 40" concrete...
6. Check 12" x 24" x 48" concrete...
7. Check 14" x 28" x 56" concrete...
8. Check 16" x 32" x 64" concrete...
9. Check 18" x 36" x 72" concrete...
10. Check 20" x 40" x 80" concrete...
11. Check 22" x 44" x 88" concrete...
12. Check 24" x 48" x 96" concrete...
13. Check 26" x 52" x 104" concrete...
14. Check 28" x 56" x 112" concrete...
15. Check 30" x 60" x 120" concrete...
16. Check 32" x 64" x 128" concrete...
17. Check 34" x 68" x 136" concrete...
18. Check 36" x 72" x 144" concrete...
19. Check 38" x 76" x 152" concrete...
20. Check 40" x 80" x 160" concrete...

- General Site Notes**
1. All dimensions are to the face of any concrete structure unless noted.
 2. All notes on this plan shall be considered as part of the contract.
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 18. All notes on this plan shall be considered as part of the contract.
 19. All notes on this plan shall be considered as part of the contract.
 20. All notes on this plan shall be considered as part of the contract.

Construction Notes

The Contractor shall be responsible for obtaining all necessary permits from the local, state, and federal agencies. The Contractor shall be responsible for obtaining all necessary permits from the local, state, and federal agencies. The Contractor shall be responsible for obtaining all necessary permits from the local, state, and federal agencies.

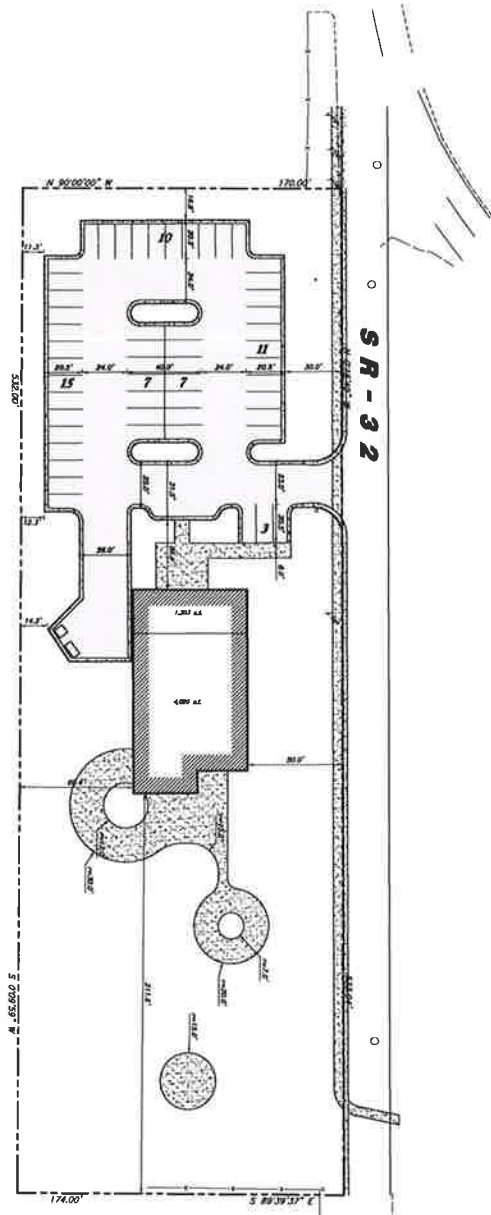
Site Plan
Oakley C-Store
 4867 North SR-12
 Oakley, Utah



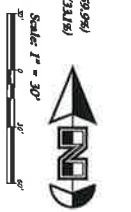
PROJECT COMPLETE NOTICE TO CONSTRUCTION

July 31, 2023

C11



Site Data
 Site Area = 91,591 s.f. (2.103 ac.)
 Landscape Area Provided = 54,866 s.f. (1.258 ac.)
 Impermeable Area Provided = 30,130 s.f. (0.691 ac.)
 Building Area = 6,395 s.f. (0.147 ac.)
 Parking Required = 1/2 s.f. = 2 stalls
 Parking Provided = 43 stalls (62,000)



Hatch Legend

(Hatched pattern)	Concrete apron paving
(Hatched pattern)	Heavy duty asphalt paving
(Hatched pattern)	Existing asphalt paving
(Hatched pattern)	Decorative concrete paving
(Hatched pattern)	Heavy duty concrete paving
(Hatched pattern)	Existing concrete paving
(Hatched pattern)	Grassy interior
(Hatched pattern)	Asphalt/Grass Area

- Site Construction Notes**
- 1) Check 1" x 6" x 8" joists
 - 2) Check concrete footing
 - 3) Check concrete slab
 - 4) Check structural steel joists
 - 5) Check concrete slab
 - 6) Check concrete footing
 - 7) Check concrete slab
 - 8) Check concrete footing
 - 9) Check concrete slab
 - 10) Check concrete footing
 - 11) Check concrete slab
 - 12) Check concrete footing
 - 13) Check concrete slab
 - 14) Check concrete footing
 - 15) Check concrete slab
 - 16) Check concrete footing
 - 17) Check concrete slab
 - 18) Check concrete footing
 - 19) Check concrete slab
 - 20) Check concrete footing

- General Site Notes**
- 1. All dimensions are to face of wall unless otherwise noted.
 - 2. The owner shall provide all utilities to the building.
 - 3. The owner shall provide all water and sewer service to the building.
 - 4. Check with the engineer of record for any other notes on the plans.
 - 5. Check with the engineer of record for any other notes on the plans.
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 - 18. Check with the engineer of record for any other notes on the plans.
 - 19. Check with the engineer of record for any other notes on the plans.
 - 20. Check with the engineer of record for any other notes on the plans.

Construction Sequence Notes

1. All construction shall be completed in accordance with the approved plans and specifications.

2. The contractor shall provide all utilities to the building.

3. The contractor shall provide all water and sewer service to the building.

4. The contractor shall provide all other services required for the building.

5. The contractor shall provide all other services required for the building.

6. The contractor shall provide all other services required for the building.

7. The contractor shall provide all other services required for the building.

8. The contractor shall provide all other services required for the building.

9. The contractor shall provide all other services required for the building.

10. The contractor shall provide all other services required for the building.

PLANNING DEPARTMENT'S NOTICE TO CONSTRUCTION

The Planning Department hereby certifies that the site plan and construction documents for the proposed project have been reviewed and approved for construction. The contractor shall provide all utilities to the building and shall provide all other services required for the building. The contractor shall provide all other services required for the building. The contractor shall provide all other services required for the building.

<p>Site Plan Oakley Restaurant 4685 North Millrace Road Oakley, Utah</p>	<p>AWA 2010 North Redwood Road, Salt Lake City, Utah 84116 (801) 521-8529 - AWAengineering.net</p>
<p>DATE: 07/31/2023 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>July 31, 2023 C111</p>