

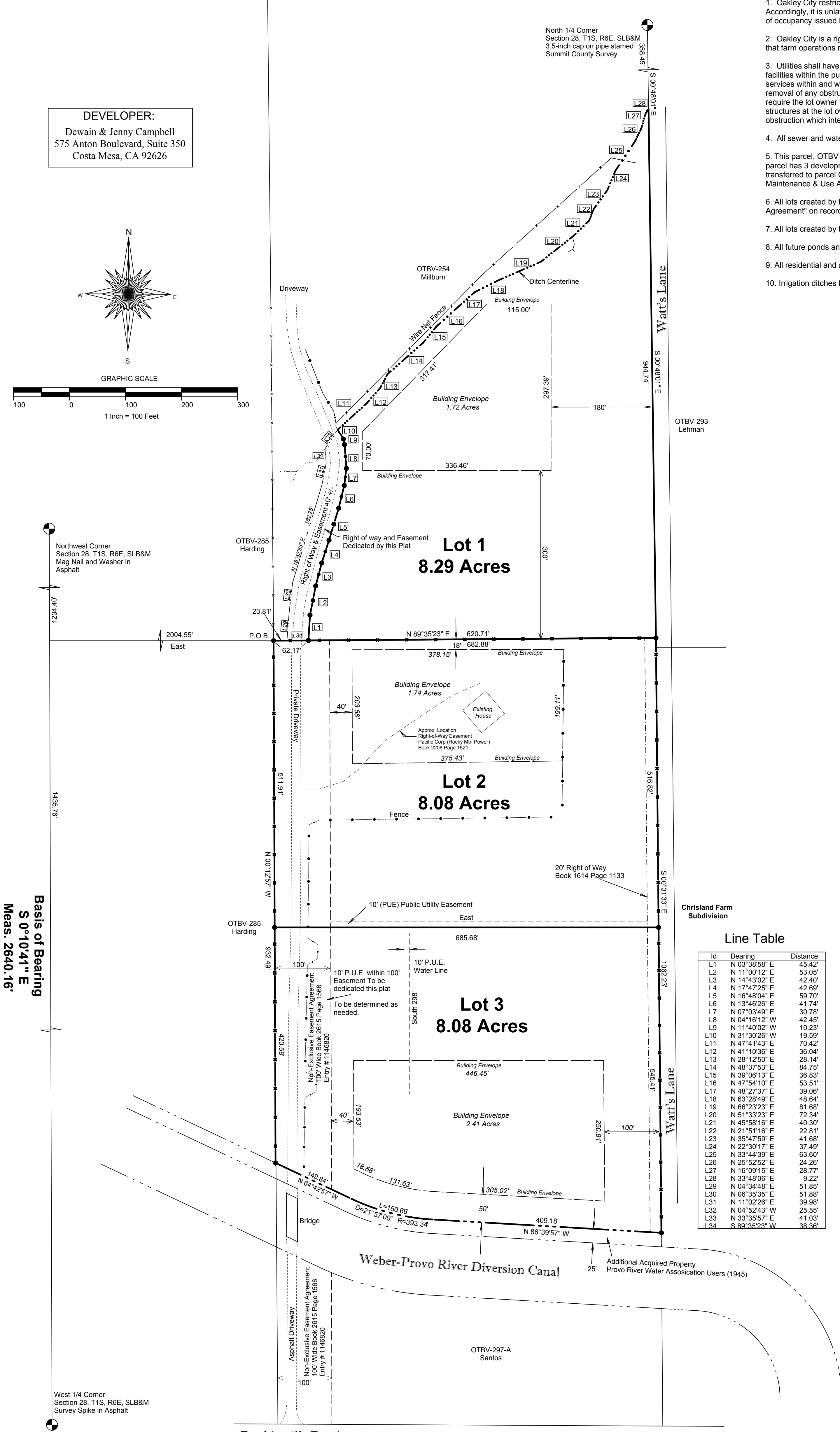
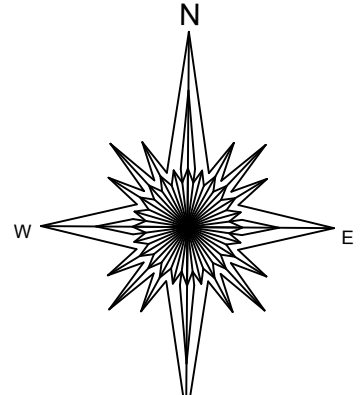
# Twilight Moon Ranch Subdivision

Located in the Northwest Quarter of Section 28, Township 1 South, Range 6 East, Salt Lake Base and Meridian  
Oakley, Summit County Utah

**Notes:**

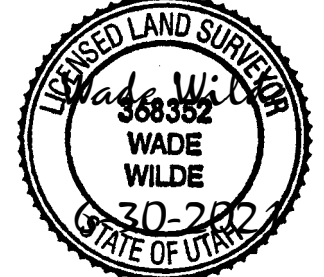
- Oakley City restricts the occupancy of buildings within developments as outlined in the International Building Code. Accordingly, it is unlawful to occupy a building located within any development without having first obtained a certificate of occupancy issued by Oakley City.
- Oakley City is a right to farm community. New property owners acknowledge that farm hours run late and begin early and that farm operations may contribute to noises and odors objectionable to some subdivision residents.
- Utilities shall have the right to install, maintain, and operate their equipment above and below ground and all other related facilities within the public utility easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the P.U.E. The utility may require the lot owner to remove all structures within the P.U.E. at the lot owner's expense, or the utility may remove such structures at the lot owner's expense. At no time may any permanent structures be placed within the P.U.E. or any other obstruction which interferes with the use of the P.U.E. without the prior written approval of the utilities with facilities in the P.U.E.
- All sewer and water laterals to be constructed for this project must have 10 feet of separation.
- This parcel, OTBV-254-A is zoned Agricultural 5 and as such, the development density of this parcel has been filled. The parcel has 3 development rights. Two of the development rights were used by Lots 2 & 3 and the third development right was transferred to parcel OTBV-254 and becomes Lot 1. The transfer of development right is included in the "First Amendment to Maintenance & Use Agreement" recorded in the office of the Summit County Recorder as Entry No. 1146820.
- All lots created by this subdivision must abide by the terms and conditions of "First Amendment to Maintenance & Use Agreement" on record in the office of the Summit County Recorder, as Entry No. 1146820.
- All lots created by this subdivision must adhere to existing public utility easements of the Oakley City water line design.
- All future ponds and irrigation needs for all lots with be done with irrigation or well water and not Oakley City culinary water.
- All residential and agricultural construction shall take place within the building envelope limits as shown on Lots 1, 2 & 3.
- Irrigation ditches flowing water to adjacent properties contain a 10 foot maintenance easement.

**DEVELOPER:**  
Dewain & Jenny Campbell  
575 Anton Boulevard, Suite 350  
Costa Mesa, CA 92626



**Surveyor Certificate**

I, Wade Wilde do hereby certify that I am a Licensed Professional Land Surveyor holding certificate No. 368352 as prescribed by the laws of the State of Utah, in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act. I further certify that I have completed a survey of the property described on this plat in accordance with Section 17-23-17, Utah Code, and have verified measurements shown, and have subdivided said property into lots hereafter to be known as TWILIGHT MOON RANCH SUBDIVISION and that the same has been surveyed and monuments have been placed on the ground as shown hereon.



June 30, 2021

**Boundary Description**

A tract of land located in the Northwest Quarter of Section 28, Township 1 South, Range 6 East, Salt Lake Base and Meridian and having a Basis of Bearing taken as S 0°10'41" E between the Northwest Corner and the West 1/4 Corner said Section 28 described as follows:

Beginning at a point South 0°10'41" East 1204.40 feet along the section line and East 2004.55 feet from the Northwest Corner of Section 28, T1S, R6E, SLB&M, which point being located at an existing fence line, and running thence North 89°35'23" East 62.17 feet to a wood post metal pipe rail fence line, the following ten (10) courses are along said fence line: North 03°38'58" East 45.42 feet; North 11°00'12" East 53.05 feet; North 14°43'02" East 42.40 feet; North 17°47'25" East 42.69 feet; North 16°48'04" East 59.70 feet; North 13°46'26" East 41.74 feet; North 07°03'49" East 30.78 feet; North 04°16'12" West 42.45 feet; thence North 11°40'02" West 10.23 feet; thence North 31°30'26" West 19.59 feet to the centerline of an irrigation ditch; the following eighteen (18) courses are along said ditch centerline; North 47°41'43" East 70.42 feet; North 41°10'36" East 36.04 feet; North 28°12'50" East 28.14 feet; North 48°37'53" East 84.75 feet; North 39°06'13" East 36.83 feet; North 47°54'10" East 53.51 feet; North 51°33'23" East 72.34 feet; North 45°58'16" East 40.30 feet; North 21°51'16" East 22.81 feet; North 35°47'59" East 41.68 feet; North 22°30'17" East 37.49 feet; North 33°44'39" East 63.60 feet; North 25°52'52" East 24.26 feet; North 16°09'15" East 28.77 feet; North 33°48'06" East 9.22 feet; thence South 00°48'01" East 944.74 feet along the remnants of a fence line; thence South 0°31'33" East 1062.23 feet along a fence line to the northerly line of the Weber-Provo River Diversion Canal; thence North 86°39'57" West 409.18 feet along said line; thence along the arc of a curve along said line to the right 150.69 feet, a radius of 393.34 feet, a chord bearing North 75°41'27" West 149.77 feet; thence North 64°42'57" West 149.84 feet along said line to a fence line; thence North 07°12'57" West 932.49 feet along a fence line to the point of beginning.

Containing 24.45 Acres

Together with and Subject to a Non-Exclusive Easement 100 feet in width over the westerly side of Lots 2 and 3 found in Book 1614 Page 1128.

**Owner Dedication**

Know by all men by these presents that we, all of the undersigned owner(s) of the above described tract of land, having caused same to be subdivided into lots to be hereafter known as the TWILIGHT MOON RANCH SUBDIVISION do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.

In witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_

**Acknowledgement**

STATE OF UTAH  
COUNTY OF SUMMIT  
Personally appeared before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ the following:

Who acknowledged to me that \_\_\_\_\_ he \_\_\_\_\_ executed the above OWNERS DEDICATION.  
My commission expires: \_\_\_\_\_  
Residing in: \_\_\_\_\_ Notary Public

**Consent to Record**

STATE OF UTAH  
COUNTY OF SUMMIT  
The undersigned lien holder hereby consents to the recordation of the plat.

By: \_\_\_\_\_  
The foregoing CONSENT TO RECORD was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ By: \_\_\_\_\_  
My commission expires: \_\_\_\_\_  
Residing in: \_\_\_\_\_ Notary Public

STATE OF UTAH  
COUNTY OF SUMMIT  
The undersigned lien holder hereby consents to the recordation of the plat.

By: \_\_\_\_\_  
The foregoing CONSENT TO RECORD was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ By: \_\_\_\_\_  
My commission expires: \_\_\_\_\_  
Residing in: \_\_\_\_\_ Notary Public

**Line Table**

Id	Bearing	Distance
L1	N 03°38'58" E	45.42
L2	N 11°00'12" E	53.05
L3	N 14°43'02" E	42.40
L4	N 17°47'25" E	42.69
L5	N 16°48'04" E	59.70
L6	N 13°46'26" E	41.74
L7	N 07°03'49" E	30.78
L8	N 04°16'12" W	42.45
L9	N 11°40'02" W	10.23
L10	N 31°30'26" W	19.59
L11	N 47°41'43" E	70.42
L12	N 41°10'36" E	36.04
L13	N 28°12'50" E	28.14
L14	N 48°37'53" E	84.75
L15	N 39°06'13" E	36.83
L16	N 47°54'10" E	53.51
L17	N 48°27'37" E	39.06
L18	N 63°28'49" E	48.64
L19	N 66°23'23" E	81.68
L20	N 51°33'23" E	72.34
L21	N 45°58'16" E	40.30
L22	N 21°51'16" E	22.81
L23	N 35°47'59" E	41.68
L24	N 22°30'17" E	37.49
L25	N 33°44'39" E	63.60
L26	N 25°52'52" E	24.26
L27	N 16°09'15" E	28.77
L28	N 33°48'06" E	9.22
L29	N 04°34'48" E	51.85
L30	N 06°35'35" E	51.88
L31	N 11°02'26" E	39.98
L32	N 04°52'43" W	25.55
L33	N 33°35'57" E	41.03
L34	S 89°35'23" W	38.36

**Legend**

- Pole Fence Line (Pole)
- Existing Fence Lines
- 10' P.U.E. (Public Utility Easement)
- Weber-Provo River Diversion Canal
- Paved Driveway
- Building Envelope
- 20' Recorder Right of Way
- Rebar with Cap Stamped High Mountain LS 368352

**PUBLIC SAFETY ANSWERING POINT APPROVAL**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
Jeff Ward GIS Coordinator/Addressing Authority

**DOMINION ENERGY**

Approved and accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
DOMINION ENERGY  
By: \_\_\_\_\_

**Address Table**

LOT NO. 1	407 E Boulderville Road
LOT NO. 2	425 E Boulderville Road
LOT NO. 3	431 E Boulderville Road

**ALLWEST**  
Approved and accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
ALLWEST COMMUNICATIONS  
By: \_\_\_\_\_

**ROCKY MOUNTAIN POWER**  
Approved and accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
ROCKY MOUNTAIN POWER  
By: \_\_\_\_\_

**SOUTH SUMMIT FIRE DISTRICT**  
Approved and accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
FIRE DISTRICT  
By: \_\_\_\_\_

**ATTORNEY CERTIFICATE**  
I have examined the proposed plat of this Subdivision and in my opinion it conforms with the ordinances applicable thereto and now in force and effect.  
Oakley City Attorney

**CITY COUNCIL APPROVAL**  
Presented to the Board of Oakley City Council this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
At which time this record of survey was approved.  
Mayor \_\_\_\_\_ City Recorder \_\_\_\_\_

**CITY PLANNING COMMISSION**  
Approved and accepted by the Oakley City Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
Chairman \_\_\_\_\_

**CITY ENGINEER**  
Approved and accepted by the Oakley City Engineering Department this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
Oakley City Engineer \_\_\_\_\_

**COUNTY RECORDER**  
STATE of UTAH COUNTY SUMMIT  
Recorded and filed at the request of \_\_\_\_\_  
Date: \_\_\_\_\_ Time: \_\_\_\_\_  
Entry # \_\_\_\_\_ Fee: \_\_\_\_\_  
County Recorder \_\_\_\_\_

**HIGH MOUNTAIN SURVEYING, LLC**  
P.O. Box 445  
1325 South Hoytville Road  
Coalville, Utah 84017  
(435) 336-4210